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Town of North Hempstead



Board of Zoning Appeals

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Manhasset, NY 11030
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CALENDAR FOR APRIL 5, 2023

RESIDENTIAL CALENDAR

APPEAL #21362 – Timothy & Janice Dowd; 43 Virginia Dr., Manhasset, Section 3, Block 61, Lot 12; Zoned Residence-C

Variance from § 70-103.A to legalize a garage conversion with not enough parking.

APPEAL #21363- Michael Licciardello; 25 Third Avenue, Port Washington; Section 5, Block 45, Lot 204; Zoned: Residence-C

Variance from §70-51.A to legalize a deck with smaller than required aggregate side yards.

APPEAL #21364 – Armond Saidai; 36 S. Bayles Avenue, Port Washington, Section 5, Block 98, Lot 24; Zoned Business-A/Industrial B (per R-C requirements)

Variance from § 70-100.1.B to legalize a detached garage that is too close to the side property line.

COMMERCIAL CALENDAR

APPEAL #21365 - Burberry Americas/Burberry LTD (sign); 2110 A Northern Boulevard, Manhasset, Section 3, Block 183, Lot 12; Zoned: Business-A

Variance from §70-196.J(1) to erect a wall sign that is not facing a public street or parking area.

APPEAL #21366 - Sterling Astoria LLC (Starbucks Coffee); 114 Northern Boulevard, Greenvale; Section 7, Block D, Lots 2 and 3; Zoned: Business-B

Conditional Use 70-139.A, and variances from 70-103.B, 70-103.F, 70-203.T(2)(j), 70-196.J(1)(a), 70-196.J(1)(b), 70-196.J(2)(a), 70-196.J(2)(c), 70-196.J(2)(d), and a special exception from 70-231 to construct a new drive through only coffee shop (a conditional use) with not enough loading spaces, no bypass lane, parking spaces that are too small, too many wall signs and too many ground signs, a wall sign that is too large and too tall, ground signs that are too close to the property line and ground signs that do not have enough space between the sign and the ground.

APPEAL #21367 – Shelter Rock Islamic Center; 2 Shelter Rock Road, Searingtown, Section 9, Block 652, Lot 18; Zoned Residence-A

Variances from §70-100.2.A(2) to construct fencing between a building and the street.

APPEAL #21369 – CAW75, LLC (Cyclebar)(SAB 1488-1506 Northern Associates, LLC); 1500 Northern Boulevard, Manhasset; Section 3, Block 145, Lot 205; Zoned: Business-A

Variance from §70-103.A(1) to convert a retail space to a gym facility with not enough parking.

GENERAL DATA:

- The Architect is not contracted for supervision and so is not responsible for methods of construction or materials used.
- Contractor shall verify all existing conditions in the field and shall notify the Architect of any discrepancies before starting work.
- Contractor to verify all dimensions in field, notify Architect immediately of any discrepencies.
- All materials shall be new and of the best quality.
- Contractor, by submitting his bid, represents that he has visited the project location and agrees with plans and details as representing the full extent of construction. If contractor has found that plans and details differ from what is physically in the field, contractor shall notify the architect or owner before submitting his bid.
- Contractor shall obtain all permits, certificates, inspections, etc., required by law or code. Owner shall pay for same.
- All work is to be done in accordance with all applicable codes. In the absense of other standards, the New York State Building, Uniform Fire Prevention and Energy Conservation Codes shall govern.
- Drawings have been completed to conform to the New York State, Energy Conservation Construction Code, Chapter 3, Table E301.1 using 4910 Degree Days Criteria.
- Contractor shall maintain Workman's Compensation and liability insurance in adequate amounts to render the owner harmless in case of an accident to person or property involved in this project.
- Contractor shall perform all work required for the total completion of the project, weather or not indicated on the drawings. The intention of the drawings is to produce a complete and proper functioning project.
- Verify adequacy of all services (gas, electrical etc.). If additional is required, provide and install same as part of contract.
- Contractor shall remove all existing material and construction interfering with the proposed new work whether or not shown on the drawings.
- In some cases, the existing structure has been assumed in so far as the directions of framing, size etc. New structure has been designed based on this assumption. During demolition or any other phase of work, if there is any discrepancies in the assumed condition, which is actually in place, notify the Architect at once.
- Site shall be stabilized during construction to manage storm water run off as required. Using silt fencing and hay ensure no run off to adjacent properties.
- All sections and details shall be considered typical and apply for the same, and similar conditions, unless otherwise specifically noted.
- Contractor shall furnish and be solely responsible for all temporary bracing and shoring required to maintain stability of the structure during construction.
- Any required shop drawings shall be submitted to Architect for approval prior to fabrication.
- All surfaces, new existing areas disturbed by construction to be prepared for proper finishing.
- Substitutions of material and/or methods of construction shall be approved by Architect and owner prior to signing construction contract.
- All work shall be guaranteed for one year.
- Construction not to commence pending approval of plans.
- General notes to be strictly adhered to unless otherwise noted on drawings.

FOUNDATION:

- Excavation shall be protected from frost in cold weather.
- Remove all water from excavation prior to concrete placement.
- All footings shall be at 3'-0" min. below grade on undisturbed soil (unless on sound rock) elevations of bottom of footings shown on plans are for estimating purposes and shall be adjusted to required bearing strata as found upon excavation. Footings shall not be placed on rock whose surface slopes more than 10%.
- All footings shall rest on undisturbed soil of minimum bearing capacity of 2.0 tons per square foot.
- Backfill with approved material, backfill under the slab, around piers and on each side of foundation walls shall be done in layers, not to exceed 12". Compaction shall be 95% of maximum density at optimum moisture content.

CONCRETE:

- Material: F'c = 3500 psi at 28 days.
- All concrete exposed to weather including concrete for exterior foundation walls shall be air entrained.
- Rod reinforcement shall be in accordance with ASTM A615, grade 60 typically, grade 40 for ties and stirrups.
- All reinforcement steel is to be securely wired together in the formwork. Two way mats of steel are to be tied at alternate intersections both ways.
- All concrete is to be formed, unless otherwise approved by Architect.
- All details, workmanship and procedures shall conform to ACI 318 latest edition.
- Apply non-slip broom finish to all exterior walks and pads.
- Curing of concrete is to start as soon as surface will not be marred by finishing. It will not be permissible to delay curing until the next morning after concrete is cast.
- The foundation subcontractor is to provide high chairs, spacers, supports, etc. as necessary for the proper placement of reinforcement steel.
- Provide clearances from faces of concrete to reinforcement as follows:
Cast against and permanently exposed to earth-----3"
Exposed to earth or weather (#5 bar or smaller)-----1½"
Exposed to earth or weather (#6 bar or larger)-----2"
Not exposed to weather or in contact with earth:
Slabs, walls, and joists-----¾"
Ties, stirrups or spirals-----1½"

SITE DRAINAGE:

- Provide gutters and leaders as required. Size and placement shall be coordinated and approved by Architect prior to install.
- Leaders shall be connected to under ground 4" PVC piping and connected to drywell or drained to daylight which ever is in place.

ROOFING:

- Remove existing roof and replace.
- Provide 15lb construction felt on entire roof.
- Provide min. 36" continuous ice shield at all eaves and valleys.
- Provide valleys and flashing as required.
- Provide drip edge as required.
- Roofing shall be 30 year asphalt shingles color and style to be selected by owner.

THERMAL AND MOISTURE PROTECTION:

- All windows and doors to be weather-stripped and caulked.
- All sealants to be silicone, colored to match surrounding material.
- All flashing shall be nonferrous metal (unless otherwise noted). Fabric flashing may only be used with written approval of the Architect.
- All roof to roof, and roof to wall joints shall be continuously flashed.

WOOD FRAMING:

- All lumber to have min. stress grade of 850 PSI. Lumber exposed to exterior shall be pressure treated.
- Min. Bearing of all framing members to be 1 1/2".
- All framing to be erected plumb, level and true.
- Use double jack studs at all openings grater than 5'-0" and at all corners.
- Vent all rafters and attics as required and detailed.
- Use metal joist hangers at all discontinuous or flush framing.
- All headers to be 2-2X's with 1" plywood spacer between unless otherwise noted.
- All exterior metal fasteners shall be galvanized.
- Provide double floor joists under parallel partitions.
- Wood I joists and engineered lumber shall be installed as per manufactures details and recommendations.
- Connections:
 - Wall Assembly
 - Top plate to top plate connection 2-16d commons per foot
 - Top plate intersection connection 4 - 16d commons each side joint
 - Stud to stud connection 2 - 16d commons 24" o.c.
 - Header to header connection 16d commons 16" o.c. - edges
 - Choose top or bottom plate to stud connection 2-16d commons per 2 x 4 stud
 - Wall Assembly to Floor Assembly
 - Solid Bridging to Floor Joist 2-8d Commons each end
 - Blocking to Floor Joist Connection 2-8d Commons each end
 - Band Joist to Floor Joist Connection 3-16d Commons per Joist
 - Floor Assembly to Wall Assembly
 - Floor joist to Top Plate Connection 4-8d Commons per Joist
 - Blocking to Sill or Top Plate Connection 2-61d Commons per foot

WINDOW AND EXTERIOR DOORS:

- Windows and exterior doors to be installed as per details and specs. on window schedule, plans and elevations.
- All units shall have code compliant insulation and air infiltration requirements.
- Sleeping rooms to be provided with windows meeting min. emergency egress requirements as per section R310 of the NYS Residential Code.

INSULATION:

- The following minimum insulation requirements shall apply.
 - Maximum U-Factor for glazing - .40
 - Minimum R Values:
 - Ceiling - R 21
 - Walls - R 15
 - Floor - R 21

PLUMBING:

- All plumbing work shall be performed by a licensed plumber.
- Contractor shall provide all labor, materials and equipment, (unless otherwise noted) necessary to install all plumbing, related fixtures, ventilation. heating and air conditioning. All work shall comply with NYSUPFBC and local codes and ordinances. Sub contractors shall coordinate work with all other trades.
- Plumbing contractor shall verify all local plumbing code requirements prior to start of work.
- All plumbing shall be done in accordance with the residential code of New York State, The Plumbing code of New York State, The National Plumbing Code, Local codes having jurisdiction and best practice.
- Piping as per local code. Insulate hot and cold water supplies.
- No water pipes, soil or waste lines shall be exposed in uninsulated and unheated spaces in the crawl space or basement. Water service shall be protected from freezing where exposed in unheated spaces.
- Pitch all water lines to low point to drain and provide drain valve.

ELECTRICAL:

- All electrical work shall be performed by a licensed electrician.
- All work shall conform to all codes and requirements of authorities having jurisdiction.
- Contractor is responsible for procurement of all inspection certificates.
- Electrical plans reflect minimum electrical and lighting requirements. Client shall field locate all fixtures and electrical requirements as desired.
- All telephone lines shall be Cat-5 wire unless otherwise noted.
- All smoke, heat and carbon monoxide detectors shall be hardwired and interconnected.

HEATING AND AIR CONDITIONING:

- Heating and cooling systems shall be inspected for proper working condition and capacity to serve additional floor area. Base price shall include system expansion and or replacement.
- Contractor shall coordinate with Architect to provide system options and prices to present to owner for final approval.
- All Heating and Air conditioning, accessories and appurtenances shall be U.L. listed and installed in accordance with same.
- Bathrooms shall be exhausted to outdoors in accordance with the Residential Code of New York State.

FIRE AND SMOKE DETECTION:

- Smoke detecting alarms are to be installed in each sleeping space, outside each sleeping area and on each floor as per section R313 of the residential code of New York State, N.F.P.A. #72 and all other applicable codes and requirements having jurisdiction.
- Carbon Monoxide detectors as required by the Residential code of New York State and Local codes and ordinances are to be installed in the immediate vicinity of bedrooms on the lowest floor of the dwelling unit containing bedrooms. At least one Carbon Monoxide detector shall be provided in each dwelling unit. Carbon Monoxide detectors are to comply with UL 2034-2002 (Single and Multiple station Carbon Monoxide alarms, Second Edition)

EXTERIOR FINISHES:

- ProvideTyvec house wrap, or approved equal, on all exterior walls.
- Provide flashing and water proofing entire exterior as required.
- Wood trim to be shop primed.
- All fasteners, nails, screws etc. shall be coated to prevent rusting.
- Prepare all surfaces for painting and / or staining as required.

INTERIOR FINISHES:

- New and renovated areas to receive 1/2" Gyp. Board throughout. Unless noted otherwise. Use 1/2" green board in bathrooms.
- Gyp. board to receive min. two coats taping compound, sanded smooth to receive paint or wall covering.
- Walls to receive one coat primer and two coats finish paint min. Ensure proper coverage.
- All trim shall match existing unless noted otherwise.
- Interior doors to be 1 3/8" thick, style to match existing. If existing can not be matched, contractor to supply sample of substitution, for client approval, prior to signing of contract.
- Door hardware to be specified by owner. Provide allowance for hardware to match existing.
- Bathroom accessories (towel bars, mirrors etc.) to be supplied by owner and installed by contractor.
- Finish flooring as indicated on drawings.
- Ceramic tile floors to be installed over 1/2" cement board underlayment glued and screwed to plywood subfloor.

SPECIAL CONSTRUCTION:

- Contractor shall include in base bid all plumbing fixtures and installation as indicated on drawings including all fittings required for proper working conditions.

ENERGY CONSERVATION CODE OF N.Y.S:

Building Type: Single Family Residential
Design Degree Days (Per Table E301.1) 4,910 (Nassau County)
Design Temperature (Per Table E301.1) 13 Degress F. (Winter Design Dry Bulb)
89 Degress F. (Summer Design Dry Bulb)

To the best of my knowledge and belief, these drawings and specifications are prepared in conformance with the New York State Energy Conservation Code requirements for 4910 degree days.

Robert Costello, R.A., A.I.A.

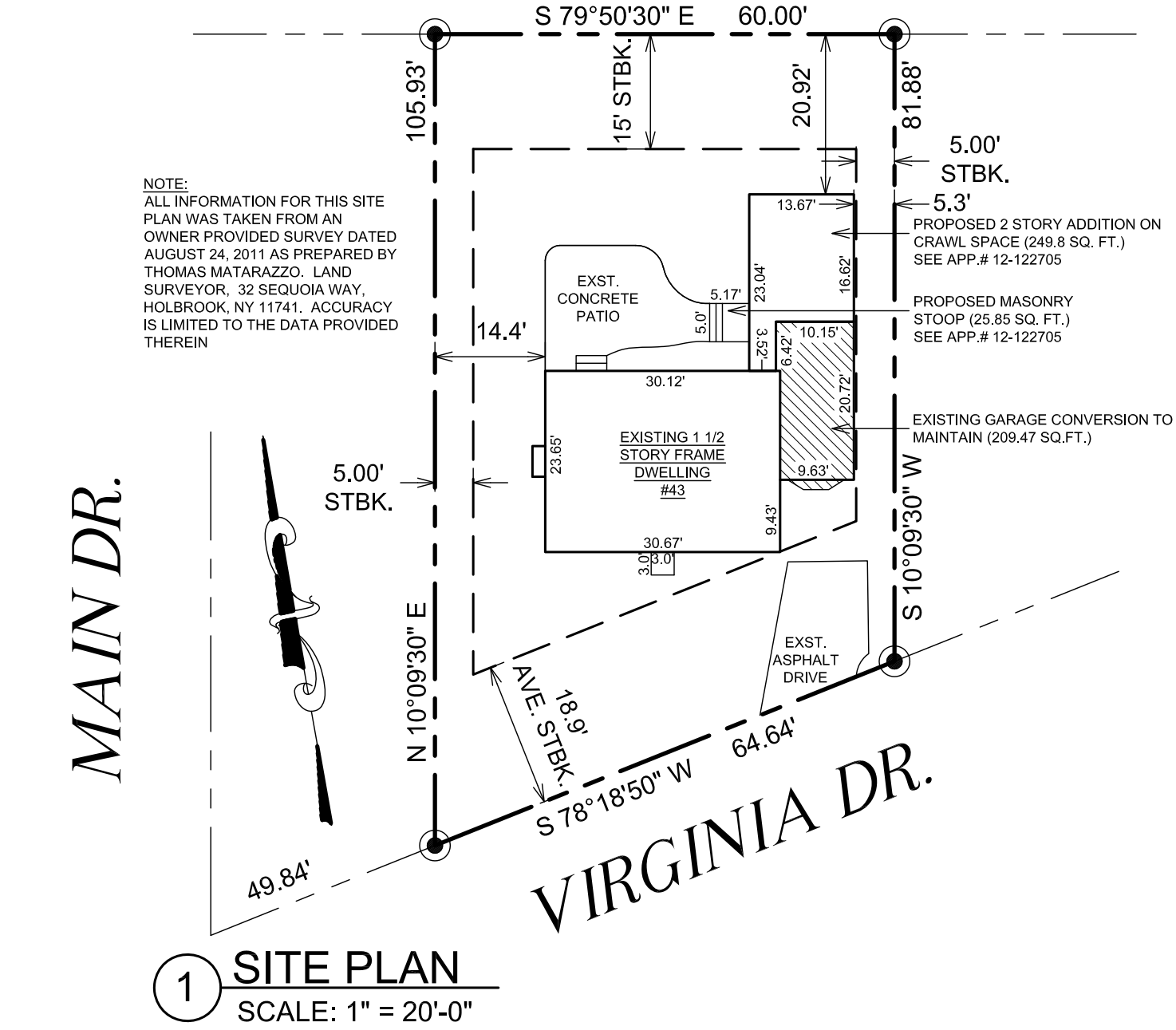
LOCATION MAP:



DRAWING LIST:

- G-1 GENERAL INFORMATION & SITE PLAN
A-1 FLOOR PLANS & ELECTRICAL PLAN

#21362

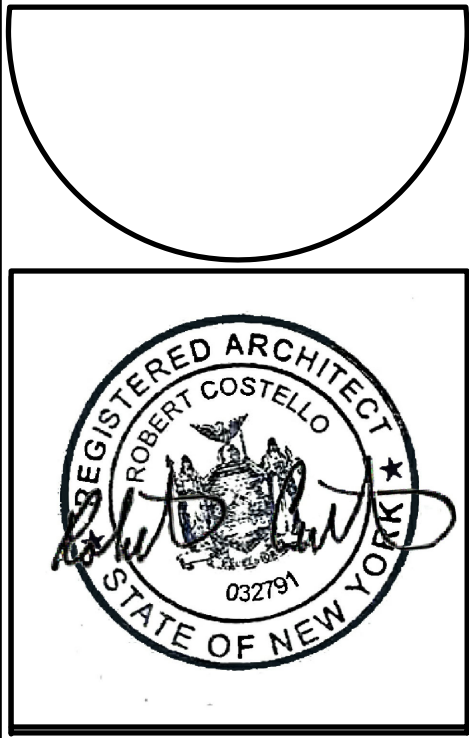


1 SITE PLAN
SCALE: 1" = 20'-0"

ZONING SCHEDULE:			
OCCUPANCY: SINGLE FAMILY RESIDENCE			
ZONE: R-C 43 VIRGINIA DR. SEC.- 3 / BLOCK- 061 / LOT- 12			
	REQUIRED / ALLOWED	EXISTING	PROPOSED ADDITION
MIN. LOT AREA (SQ.FT.)	5,000 SQ.FT.	5,634 SQ.FT.	NO CHANGE
MIN. LOT WIDTH/ FRONTAGE (FT.)	40 FT.	60 FT.	NO CHANGE
MAX. BUILDING LOT COVERAGE (%)	35% (1,971.9 SQ.FT.)	17% (934.82 SQ.FT.)	NO CHANGE
MAX. GROSS FLOOR AREA (%)	50% (2,817 SQ.FT.)	31% (1,754.54 SQ.FT.)	NO CHANGE
MIN. FRONT YARD SETBACK PROP. LINE (FT.)	18.9' (AVERAGE WITHIN 200')	18.8 FT.	NO CHANGE
MIN. SIDE YARD SETBACK (FT.)	5 FT.	5.3 FT.	NO CHANGE
MIN. AGGREGATE SIDE YARD SETBACK (FT.)	15 FT.	19.7 FT.	NO CHANGE
MIN. REAR YARD SETBACK (FT.)	15 FT.	37.5 FT.	NO CHANGE
MAX. HEIGHT IN STORIES	2 1/2 STORIES	2 STORIES	NO CHANGE
MAX. HEIGHT IN FEET ABOVE AVE. GRADE	30 FT.	24.75 FT.	NO CHANGE

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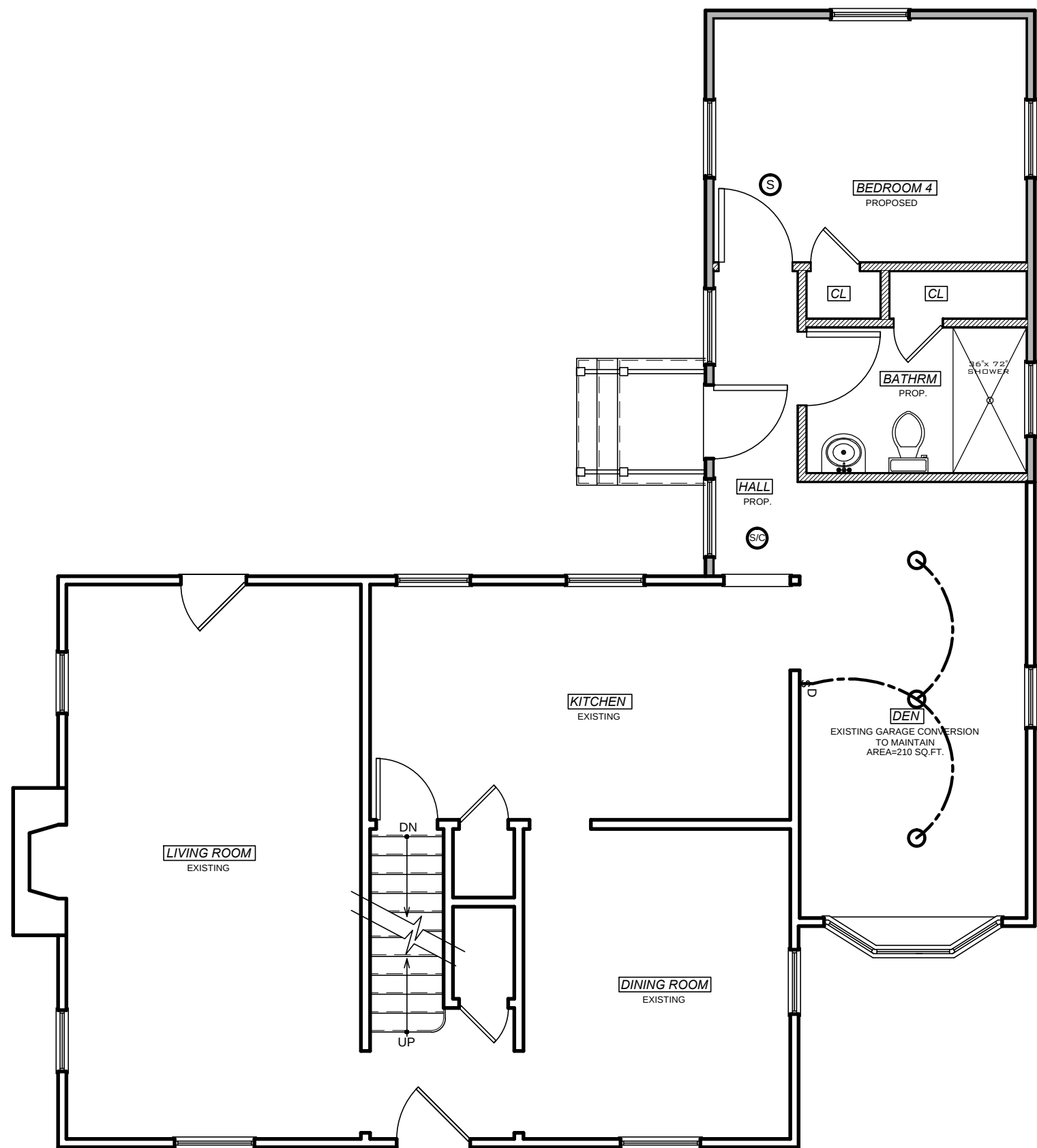
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LEVITTOWN, NY 11756
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FAX: 516-998-0645



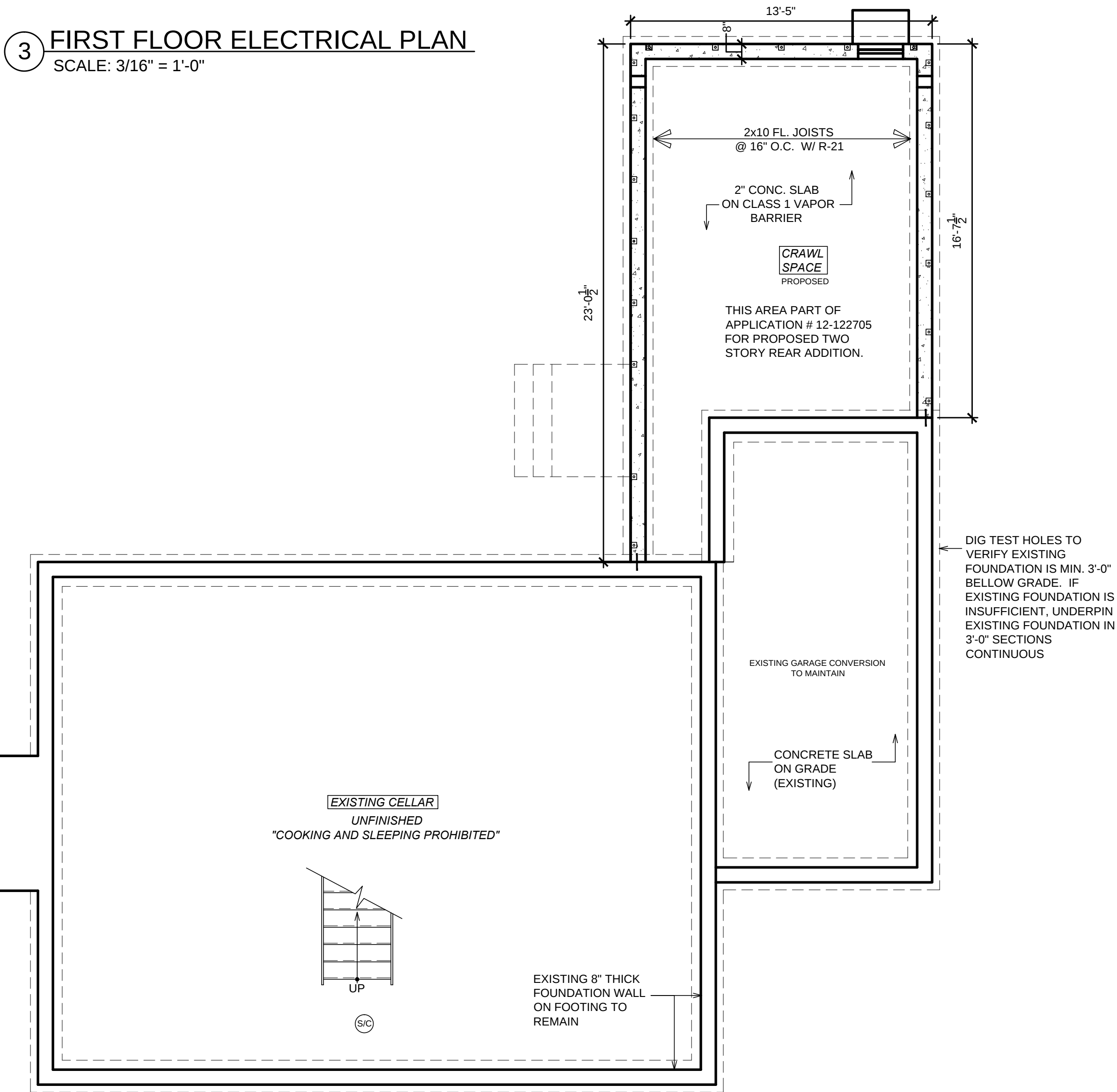
MAINTAIN APP. FOR
PROPOSED APP. #:
12-122705

PROJECT TITLE ADDITION TO EXISTING DOWEL LOT # 12 SEC 3 VIRGINIA DR. MANHASSET, NY	DRAWING TITLE GENERAL INFORMATION
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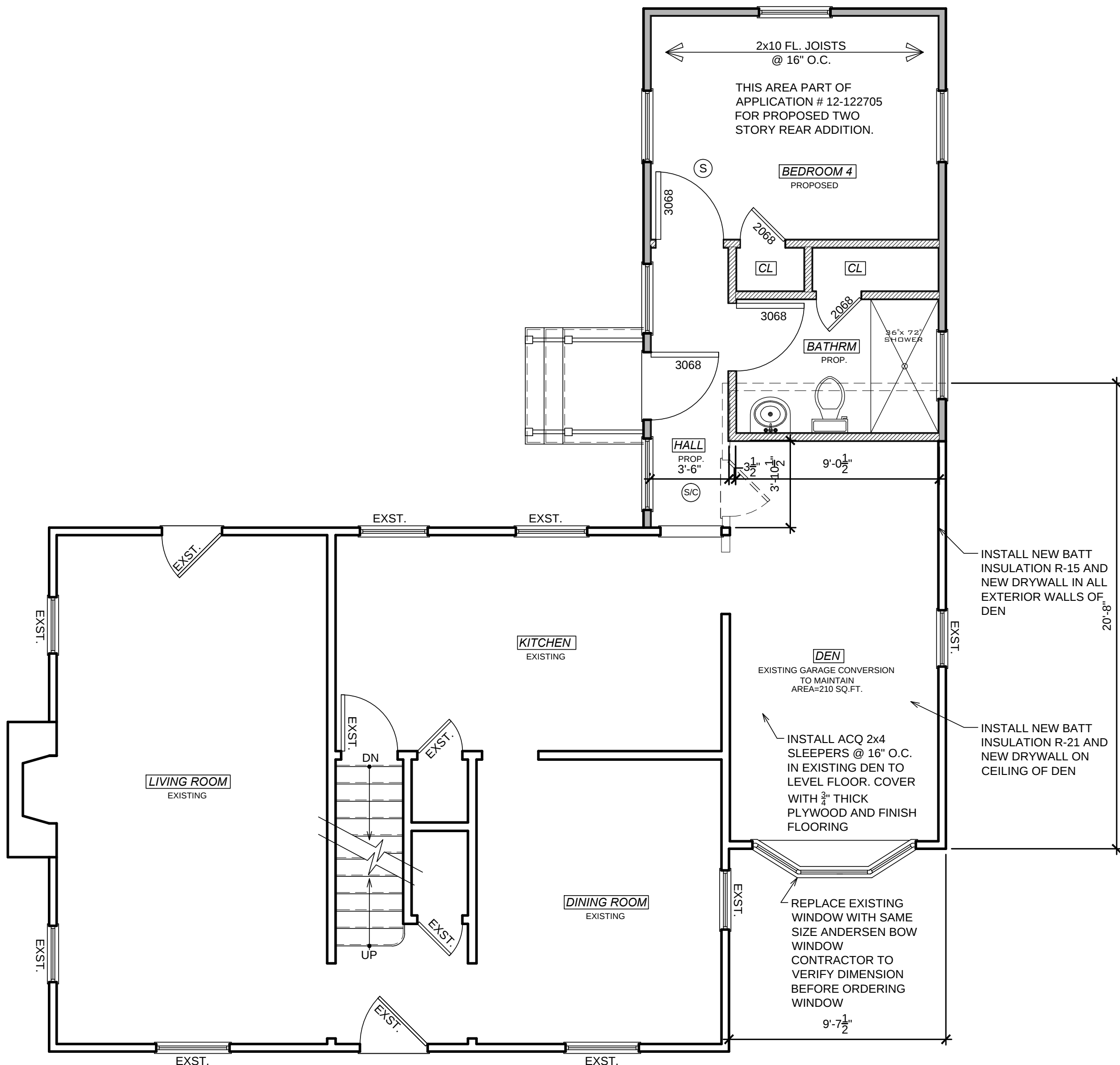
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REV. NO.	ISSUE			DATE	
PROJECT NO. 12028.00					
DRAWN BY R.C.			CHKD BY R.C.		
SCALE AS NOTED			DATE 06/24/13		
DRAWING NO. G-1					



3 FIRST FLOOR ELECTRICAL PLAN
SCALE: 3/16" = 1'-0"



1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND:

SYMBOL	DESCRIPTION
	NEW SWITCH SINGLE POLE
	NEW 3 WAY SWITCH
	NEW DIMMER SWITCH
	NEW RECEPTACLE
	NEW GFI RECEPTACLE
	NEW WEATHER PROOF GFI RECEPTACLE
	NEW 220 VOLT RECEPTACLE
	NEW PHONE OUTLET
	NEW TV CABLE OUTLET
	NEW RECESSED DOWN LIGHT
	NEW JUNCTION BOX FOR LIGHT FIXTURE
	NEW WALL LIGHT FIXTURE
	COMBINATION- EXHAUST FAN/ HEAT LAMP/ LIGHT
	NEW CEILING FAN
	NEW HARDWIRED AND INTERCONNECTED SMOKE DETECTOR TO OTHERS IN HOUSE
	NEW HARDWIRED AND INTERCONNECTED SMOKE DETECTOR AND CARBON MONOXIDE COMBO

ELECTRICAL NOTES:

- SEE GENERAL NOTES SHEET G-1 FOR ADDITIONAL ELECTRICAL INFORMATION - THE CONTRACTOR AND ALL SUB-CONTRACTORS ARE TO READ ALL CONSTRUCTION NOTES AND BE FAMILIAR WITH WORK OF OTHER TRADES.
- ALL HEAT & SMOKE DETECTORS, CARBON MONOXIDE DETECTORS MUST BE HARDWIRED, INTERCONNECTED AND HAVE BATTERY BACK-UP.
- ALL LIGHT FIXTURES TYPES, SIZES AND LOCATION SHALL BE VERIFIED AND COORDINATED WITH OWNER. ARCHITECT IS NOT RESPONSIBLE FOR ANY ELECTRICAL, MECHANICAL OR PLUMBING SYSTEMS.
- ELECTRICAL PLANS ARE FOR LAYOUT PURPOSES ONLY. CONSULT W/ LICENSED ELECTRICIAN FOR EXACT SPECIFICATIONS TO MEET LOCAL & GOVERNING CODES.
- PROVIDE & INSTALL GROUND FAULT CIRCUIT INTERRUPTER (GFI) AS REQUIRED BY N.E.P.A. OR AS REQUIRED BY LOCAL OR GOVERNING CODES.
- ELECTRICAL SUB CONTRACTOR SHALL VERIFY ALL TV AND PHONE JACK LOCATIONS W/ OWNER.
- ELECTRICAL SUB CONTRACTOR SHALL VERIFY ALL UNDER CABINET AND ABOVE WALL CABINET LIGHTING W/ OWNER.

SITE VISIT NOTE:

CONTRACTOR ARE ENCOURAGED TO VISIT SITE PRIOR TO PROVIDING PROPOSALS.

LVL NOTE:

- ALL DESIGNATED LVL'S SHALL BE 2.0E "GP LAM LVL" BY "GEORGIA PACIFIC" WITH A FLEXURAL FIBER STREES OF Fb= 3,000 P.S.I. - OR AN APPROVED EQUAL.

HEADER NOTES:

- ALL WOOD HEADERS AT WINDOWS AND EXTERIOR DOORS TO BEAR ON (2) 2x4 JACK STUDS AT EACH END.
- WHERE (2) 2x HEADERS ARE INDICATED, INSTALL A 1/2"x PLYWOOD SPACER BETWEEN EACH MEMBER.

SPECIFICATIONS NOTE:

SEE GENERAL NOTES SHEET G-1 FOR ADDITIONAL CONSTRUCTION INFORMATION - THE CONTRACTOR AND ALL SUB-CONTRACTORS ARE TO READ ALL CONSTRUCTION NOTES AND BE FAMILIAR WITH WORK OF OTHER TRADES.

NOTE:

ALL DIMENSIONS INDICATED ARE ROUGH FRAMING DIMENSIONS - CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FINISH TO FINISH DIMENSIONS IN THE FIELD FOR PURPOSES OF FINISHED CARPENTRY WORK. APPLIANCE CLEARANCE REQUIREMENTS AND INTERIOR MILLWORK.

STRUCTURAL NOTE:

SEE STRUCTURAL NOTES FOR ADDITIONAL STRUCTURAL CONSTRUCTION INFORMATION

STAIR/ PLATFORMS/ BALCONY'S NOTE:

ALL COMPONENTS OF STAIRCASES, PLATFORMS AND BALCONIES INCLUDING BUT NOT LIMITED TO RISERS, TREADS, HANDRAILS, GUARD RAILS, BALUSTERS AND REQUIRED HEADROOM CLEARANCES SHALL COMPLY WITH ALL PERTINENT SECTION OF THE NEW YORK STATE BUILDING CODE.

CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ACTUAL RISER AND TREAD DIMENSIONS AND NUMBER, REQUIRED HEADROOM CLEARANCES, ETC. DUE TO ACTUAL FLOOR TO FLOOR HEIGHTS IF THEY DEVIATE FROM THE DRAWINGS.

CLOSET NOTES:

PROVIDE AND INSTALL (4) WOOD SHELVES ON ADJUSTABLE STANDARDS IN LINEN CLOSET. MASTER BEDROOM CLOSET TO HAVE CUSTOM SHELVING/ STORAGE SYSTEM INSTALLED (TO BE SELECTED BY OWNER)

CONSTRUCTION LEGEND:

SYMBOL	DESCRIPTION
	EXISTING CONSTRUCTION TO REMAIN
	NEW PARTITION: 2x4 WOOD STUDS @ 16" O.C. W/ BATT INSULATION.
	NEW PARTITION: 2x4 WOOD STUDS @ 16" O.C. W/ 1/2" GYP. BOARD EACH. SIDE SEE PLAN
	EXISTING CONSTRUCTION TO BE REMOVED
	NEW DOOR
	INDICATES DOOR NUMBER
	INDICATES DOOR SIZE
	NEW WINDOW
	WINDOW TYPE SEE SCHEDULE
	NEW HARDWIRED AND INTERCONNECTED SMOKE DETECTOR TO OTHERS IN HOUSE
	NEW HARDWIRED AND INTERCONNECTED SMOKE DETECTOR AND CARBON MONOXIDE COMBO
	INDICATES CROSS SECTION LOCATION
	INDICATES DETAIL NUMBER
	INDICATES SHEET NUMBER

STRUCTURAL LEGEND:

SYMBOL	DESCRIPTION
	INDICATES FLOOR, CEILING, OR ROOF FRAMING DIRECTION AND SPACING
	INDICATES LVL BEAM OR GIRDER AS INDICATED ON DRAWINGS

1ST/2ND FLOOR LOADING SCHEDULE:

LIVE LOAD	: 35 P.S.F.
DEAD LOAD	: 15 P.S.F.
TOTAL LOAD	: 50 P.S.F.

CEILING LOADING SCHEDULE:

LIVE LOAD	: 20 P.S.F.
DEAD LOAD	: 10 P.S.F.
TOTAL LOAD	: 30 P.S.F.

ROOF LOADING SCHEDULE:

LIVE LOAD	: 20 P.S.F.
DEAD LOAD	: 15 P.S.F.
TOTAL LOAD	: 35 P.S.F.

ARCHITECT:

ROBERT COSTELLO, R.A., A.I.A.

ARCHITECTURAL DESIGN SERVICES
93 CONSTATABLE LANE
LEWISTOWN, N.Y. 13093
516-302-7532
FAX: 516-998-0645



MAINTAIN APP. FOR
PROPOSED APP.#:
12-122705

ADDITION TO
DOCKET
SEC. 33 BLOCK 81 LOT #. 12
43 VIRGINIA AVE.
MANHASSET, NY

DRAWING TITLE
CONSTRUCTION PLANS
ELECTRICAL PLANS

1	MAINTAIN SET	06.24.13
REV. NO.	ISSUE	DATE

PROJECT NO.
12028.00

DRAWN BY
R.C.

CHKD BY
R.C.

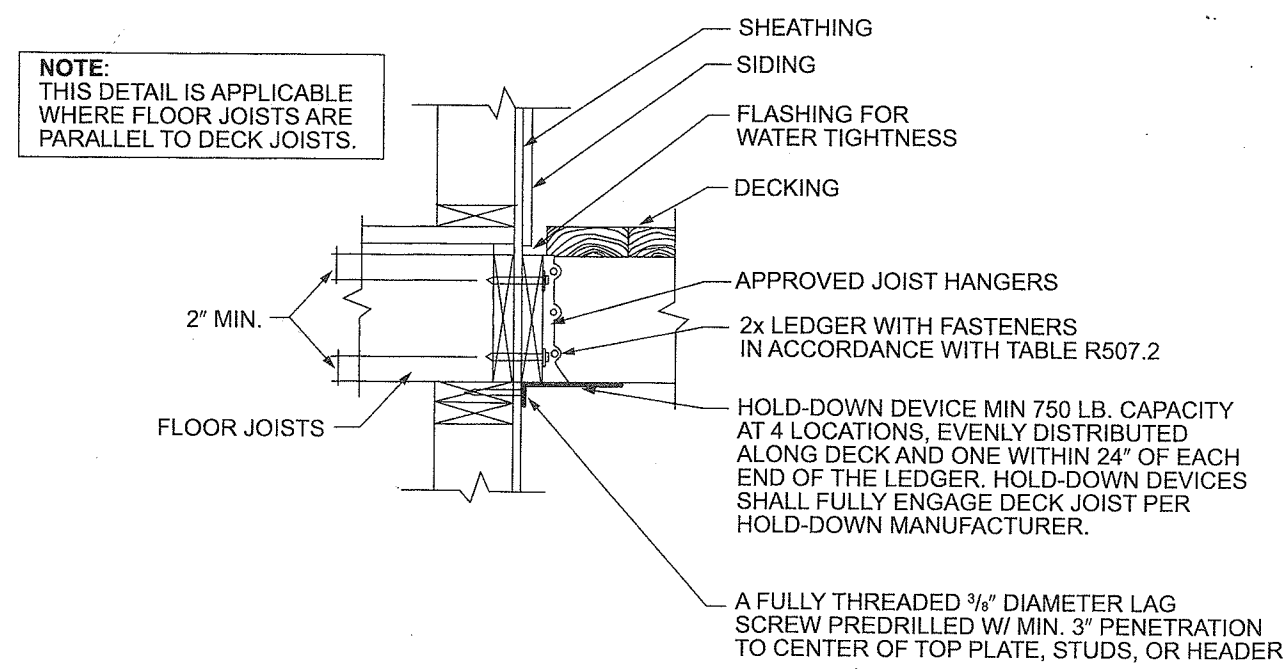
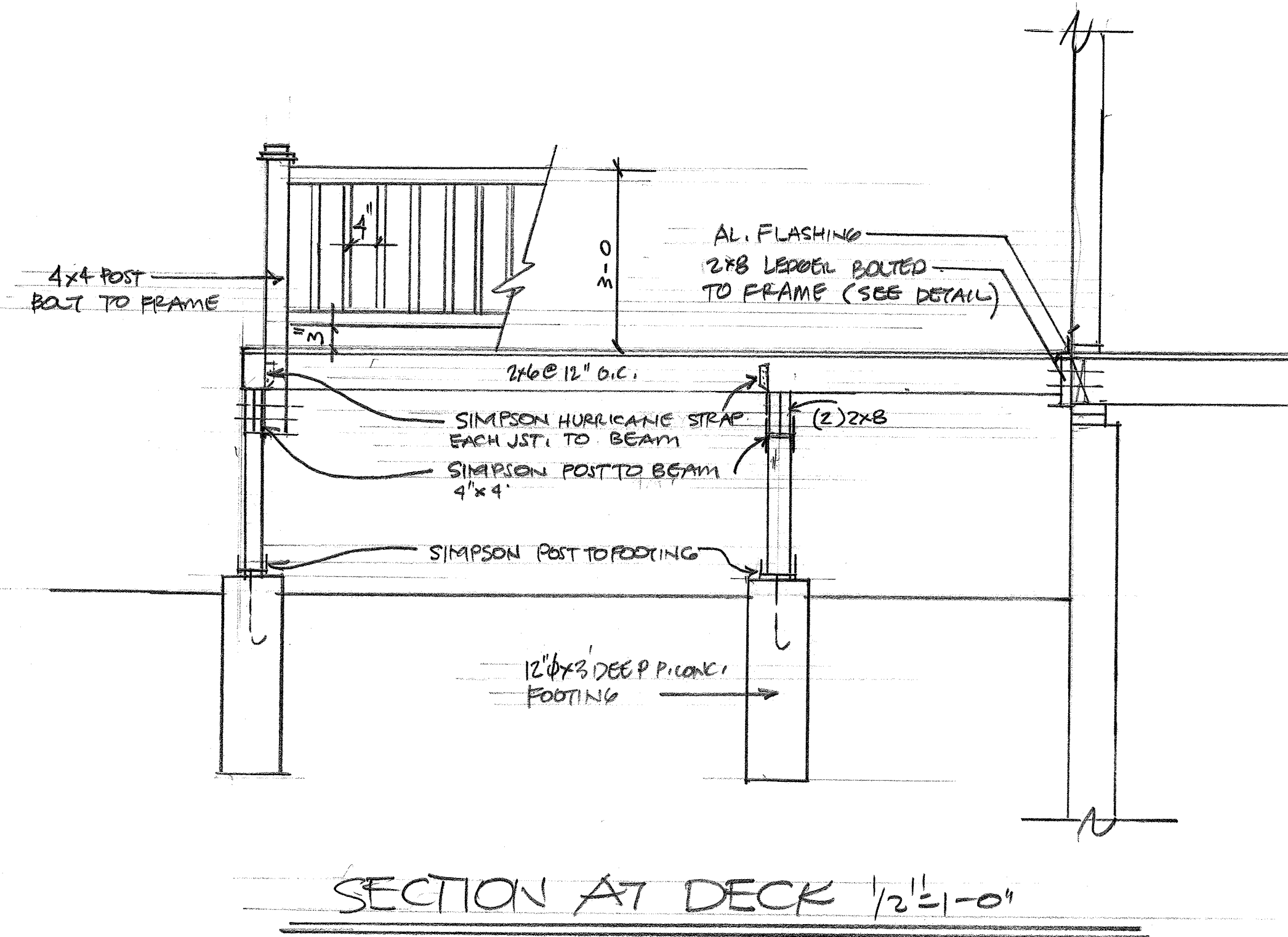
SCALE
AS NOTED

DATE
06/24/13

DRAWING NO.

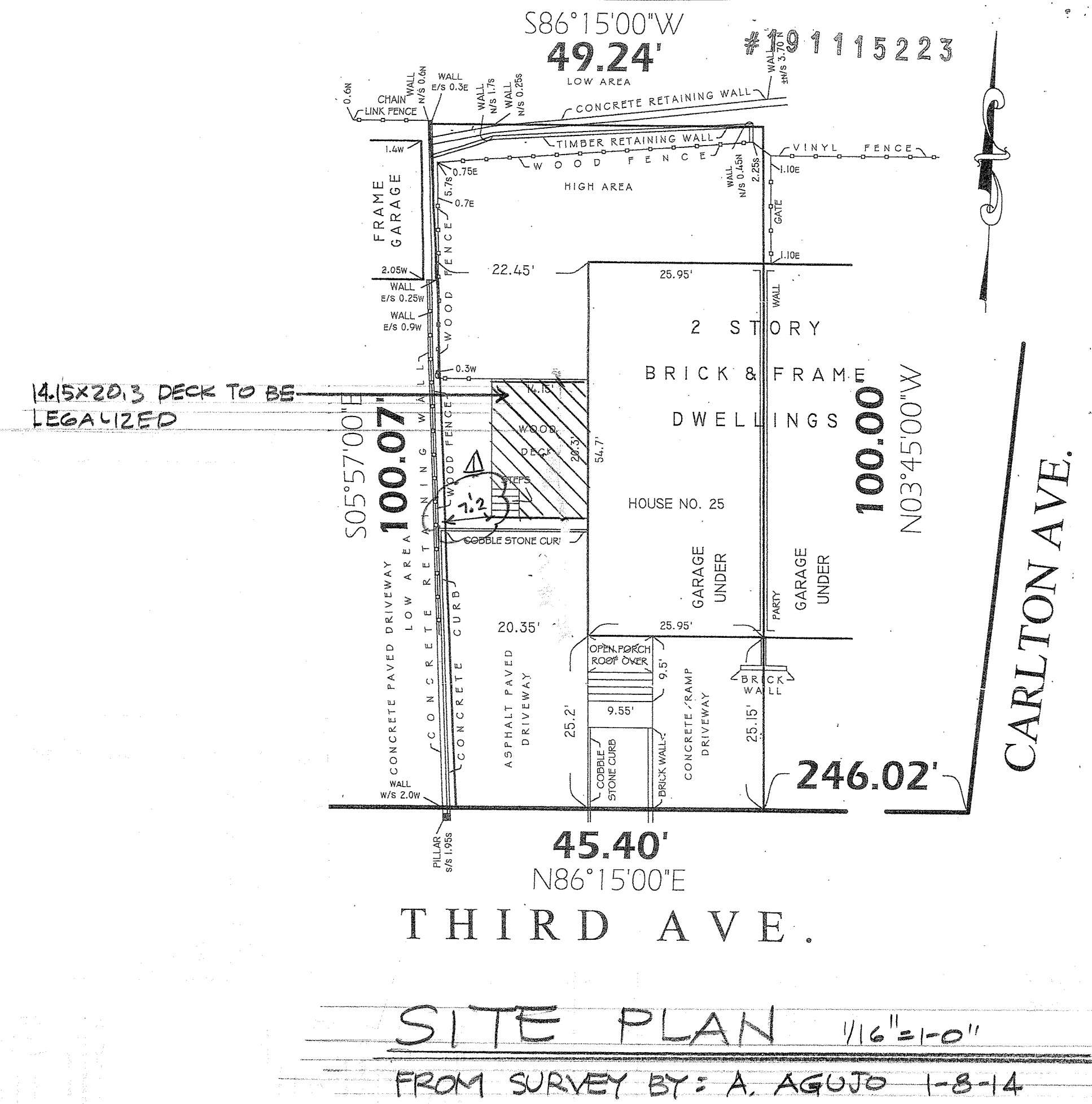
A-1

#21363



For SF: 1 inch = 25.4 mm, 1 foot = 304.8 mm.

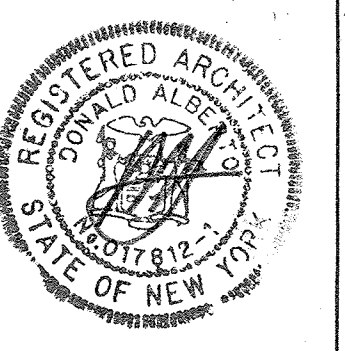
FIGURE R507.2.3(2)
DECK ATTACHMENT FOR LATERAL LOADS

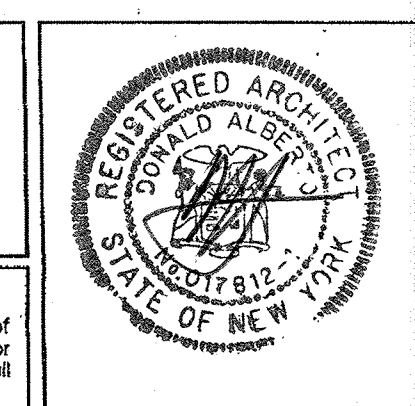


project	25 THIRD AVE, FORT WASHINGTON
drawing	SITE PLAN, SECTION
number	A-1
drawn by	R-14
date	22-14
scale	5-15-22

Donald Alberto Architect P.C.
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revisions
12-24-22
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#21364

GENERAL NOTES

- THIS WORK SHALL CONFORM TO THE ORDINANCES OF THE TOWN OF NORTH HEMPSTEAD, LONG ISLAND, NEW YORK AND TO THE BUILDING CODE OF NEW YORK STATE AND THE RESIDENTIAL CODE OF NEW YORK STATE. CONSTRUCTION, IF REQUIRED, THE GARAGE WILL BE FILED WITH THE BZA FOR A YARD SETBACK VARIANCE.
- ALL OF THE ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN AND COMPLETED WORK MUST HAVE A CERTIFICATE OF INSPECTION BY THE NEW YORK AND SHALL MEET THE ELECTRICAL CODE FOR RESIDENTIAL CONSTRUCTION.
- THE WORK SHALL CONFORM TO THE NEW YORK STATE ENERGY CODE AND HAS BEEN DESIGNED IN ACCORDANCE WITH THAT CODE. THE DESIGN OF THE NEW WORK MEETS THE PRESPECTIVE REQUIREMENTS OF N1102 FOR ZONE 11B WITH 4,910 DEGREE DAYS.
- SMOKE DETECTION ALARMS SHALL BE INSTALLED AS PER SECTION R 313 OF THE NEW YORK STATE 2010 RESIDENTIAL BUILDING CODE. A HEAT DETECTOR SHALL BE INSTALLED AT THE CELLAR BOILER ROOM. SEE NOTES BELOW.

LIST OF DRAWINGS

- A-1 LIST OF DRAWINGS
SITE PLAN, ZONING NOTES, & GENERAL NOTES
- A-2 EXISTING PLANS, ELEVATIONS & SECTIONS

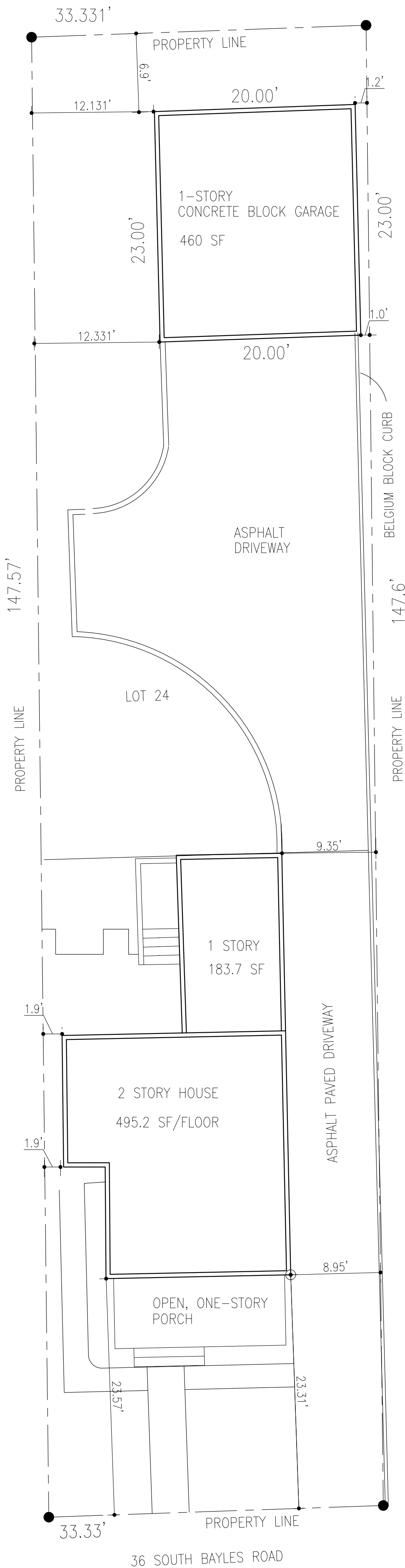
TOWN OF NORTH HEMPSTEAD, ZONING ORDINANCE

EXISTING HOUSE AND GARAGE
36 SOUTH BAYLES AVE. PORT WASHINGTON

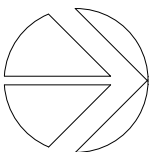
SECTION 5, BLOCK 98, LOT 24

ZONING NOTES:
BUSINESS ZONE A /
RESIDENCE C

ZONING SECT.	REQUIRED	EXISTING
70-46 (36) MAX. HEIGHT	HOUSE 2 1/2 STORIES, 30 FEET	HOUSE 30.73 FEET
	GARAGE 1 STORY, 15 FEET	GARAGE 13'-3" FEET
70-47 (37) MIN. LOT AREA	MIN. 5,000 SQ.FT. LOT AREA	4,919 SF
70-47 LOT WIDTH	40' AT FRONT SETBACK LINE 35' FROM & ON THE STREET LINE TO THE FRONT SETBACK LINE	33.33' 33.33'
70-48 LOT COVERAGE	35% X LOT AREA = 1,721.65 SQ.FT.	HOUSE = 678.9 SF GARAGE= 460.0 SF TOTAL = 1,138.9 SQ. FT. LOT COVERAGE = 23%
70-49 FLOOR AREA	900 SQ.FT. MIN. MAX. = 50% OF THE LOT AREA =2,459.5 SF OR MAX. = 2,800 SQ. FT. UNLESS LOT AREA IS > 6,000 S.F.	FIRST FLOOR 678.9 SQ. FT. SECOND FLOOR 495.2 SQ. FT. GARAGE 460.0 SQ. FT. TOTAL FLOOR AREA 1,634.1 SQ. FT. = 33%
70-50 FRONT YARD	25 FEET	23.31 FEET
70-51 SIDE YARDS	HOUSE 5 FEET MINIMUM; TOTAL = 33.33 X .25 25% OF LOT WIDTH = 8.33' GARAGE 3 FEET MINIMUM	HOUSE 1.9 FEET & 8.5 FEET 10.4' TOTAL SIDE YARDS GARAGE 1.0 FEET & 12.13 FEET
70-52 REAR YARD	15 FEET	HOUSE 92 FEET GARAGE 6.9 FEET
70-52.3 SKY EXP. PLANE	4' VERT. TO 1' HORIZ. FRONT AND SIDE YARDS	
70-52.6 EAVE HEIGHT	MAX 22' TO UPPERMOST EAVE FROM PRE-EXIST. AV. GRADE © PERIM. OF BLDG.	15 FEET



SITE PLAN
SCALE: 1/8"= 1'-0"



DONALD & LIISA SCLARE
ARCHITECTS

20 South Washington Street
Port Washington, NY 11050
917) 865-1618

REVISED PER OMISSION LETTER
DATED 1/26/23
JAN. 26, 2023

Maintain Existing Conditions
to the Garage at

36 South Bayles Avenue
Port Washington, N. Y.
11050

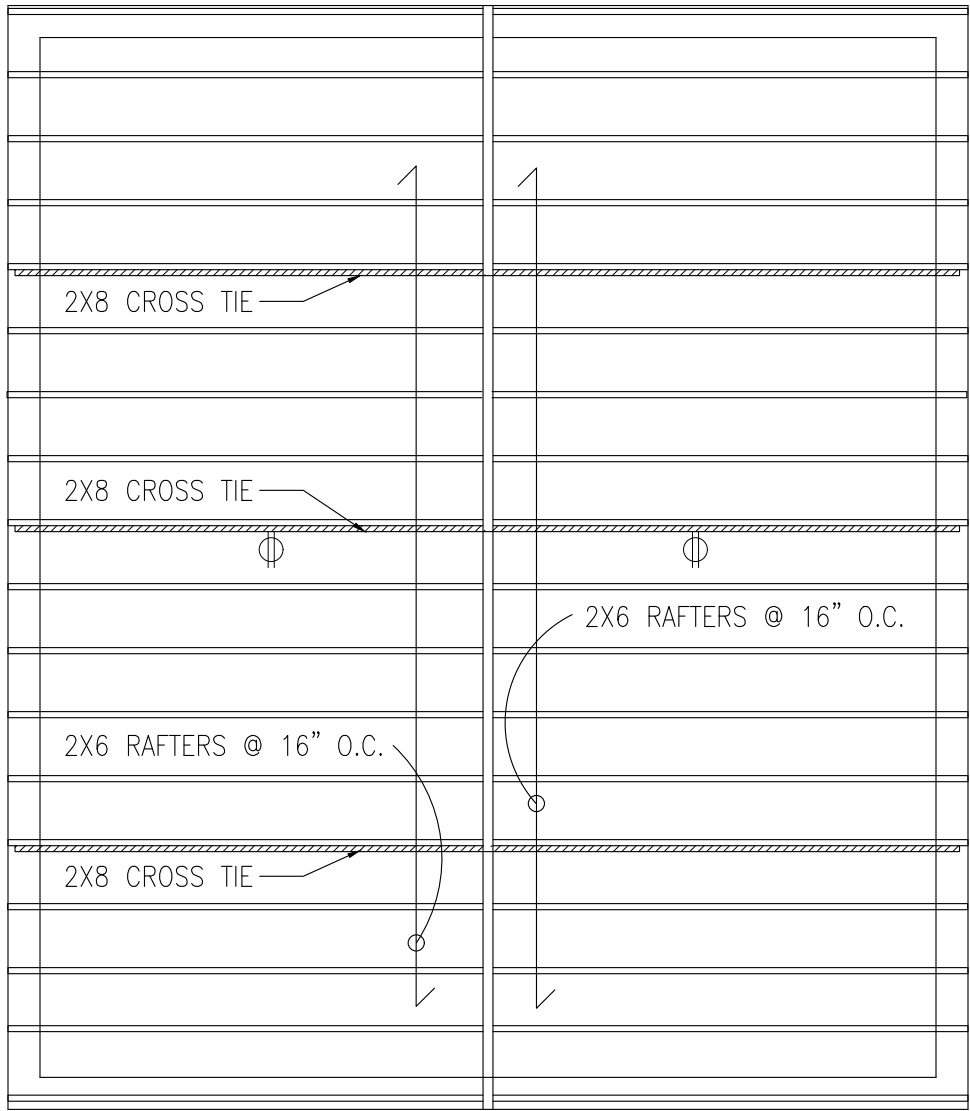
DRAWING TITLE:
LIST OF DRAWINGS,
GENERAL NOTES AND
ZONING NOTES & SITE PLAN

SEAL	SCALE: 1/8"=1'-0"	PROJECT NO.:
	DATE: 1. 23. 23.	DRAWING NO.:
	DRAWN BY:	A-1
	CHECKED BY:	SHEET
FILE:	OF	

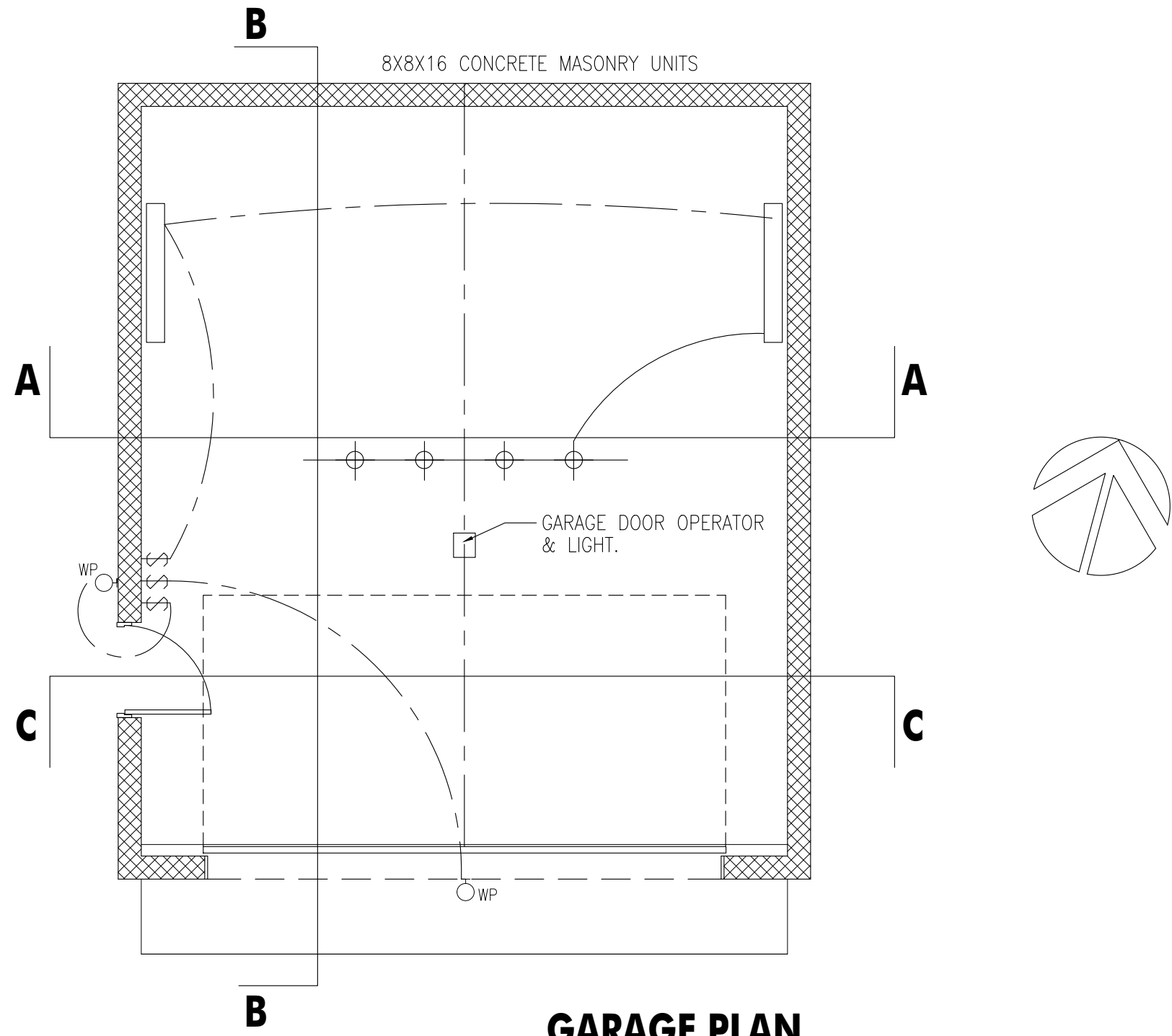
ELECTRICAL SYMBOLS

- ⦿ DUPLEX RECEPTACLE
- \$ SWITCH
- ▭ SURFACE MTD. FLUOR. FIXTURE
- ⊕ CLG.-MTD. TRACK LIGHT
- ⦿ WP WALL LIGHT - WATERPROOF

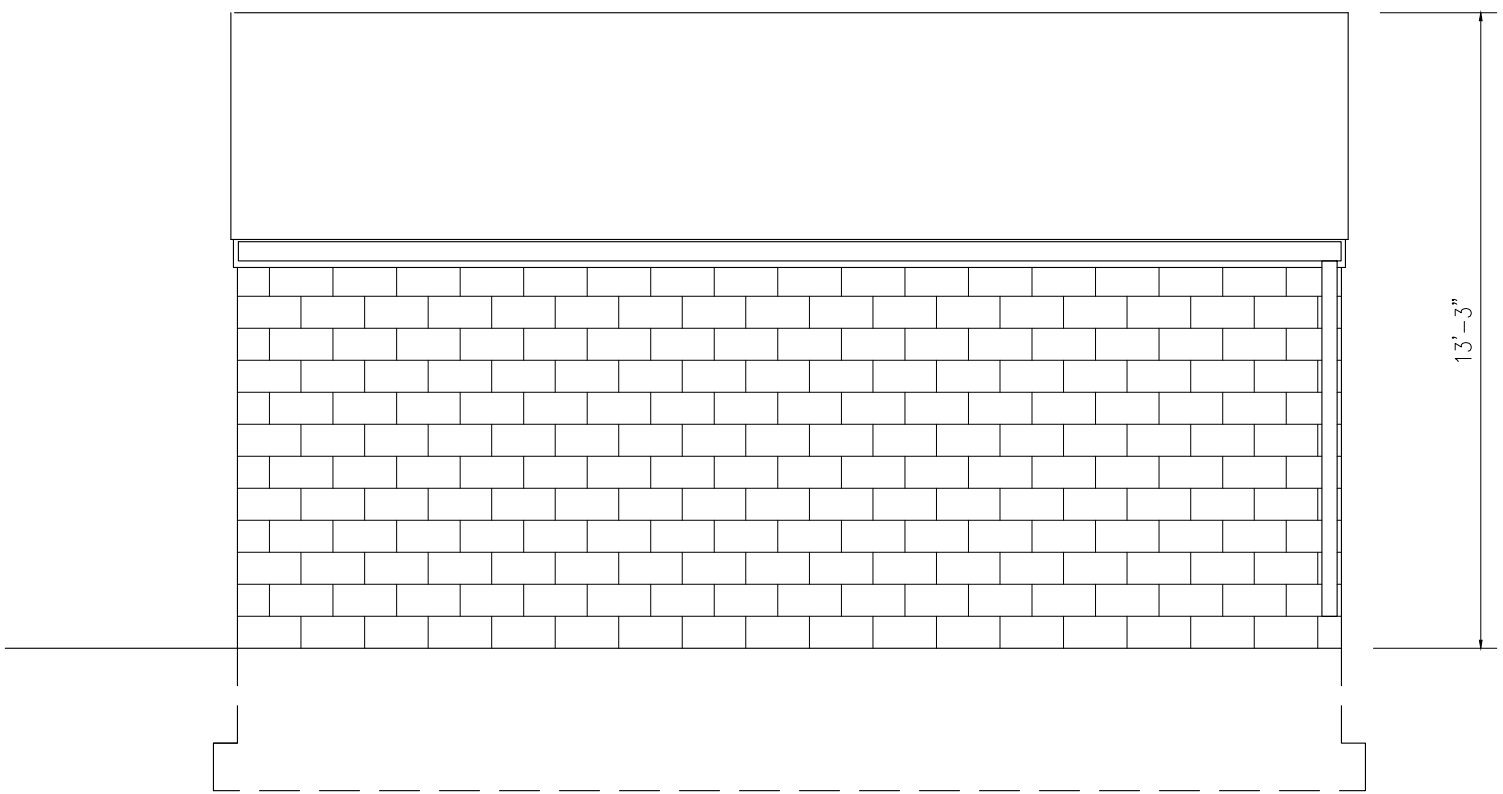
SWITCHES AND OUTLETS TO CONFORM TO CODE



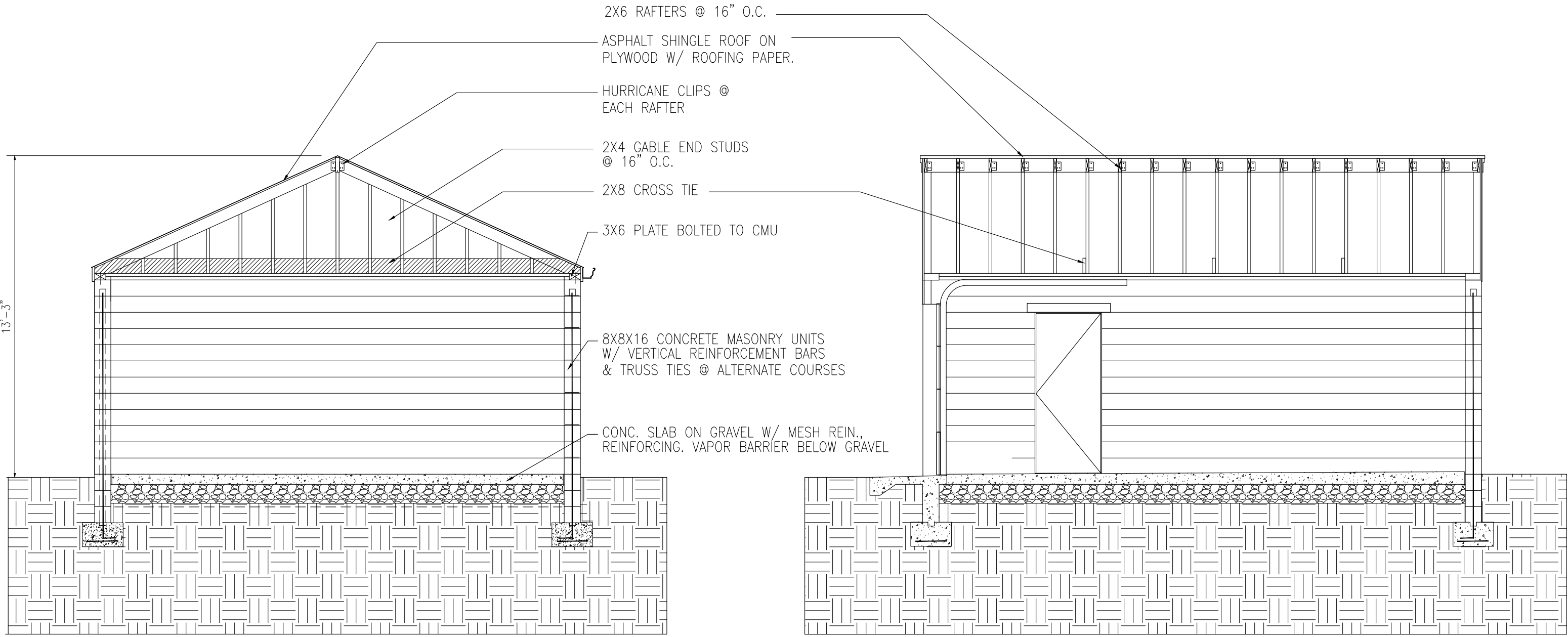
GARAGE ROOF FRAMING PLAN



GARAGE PLAN

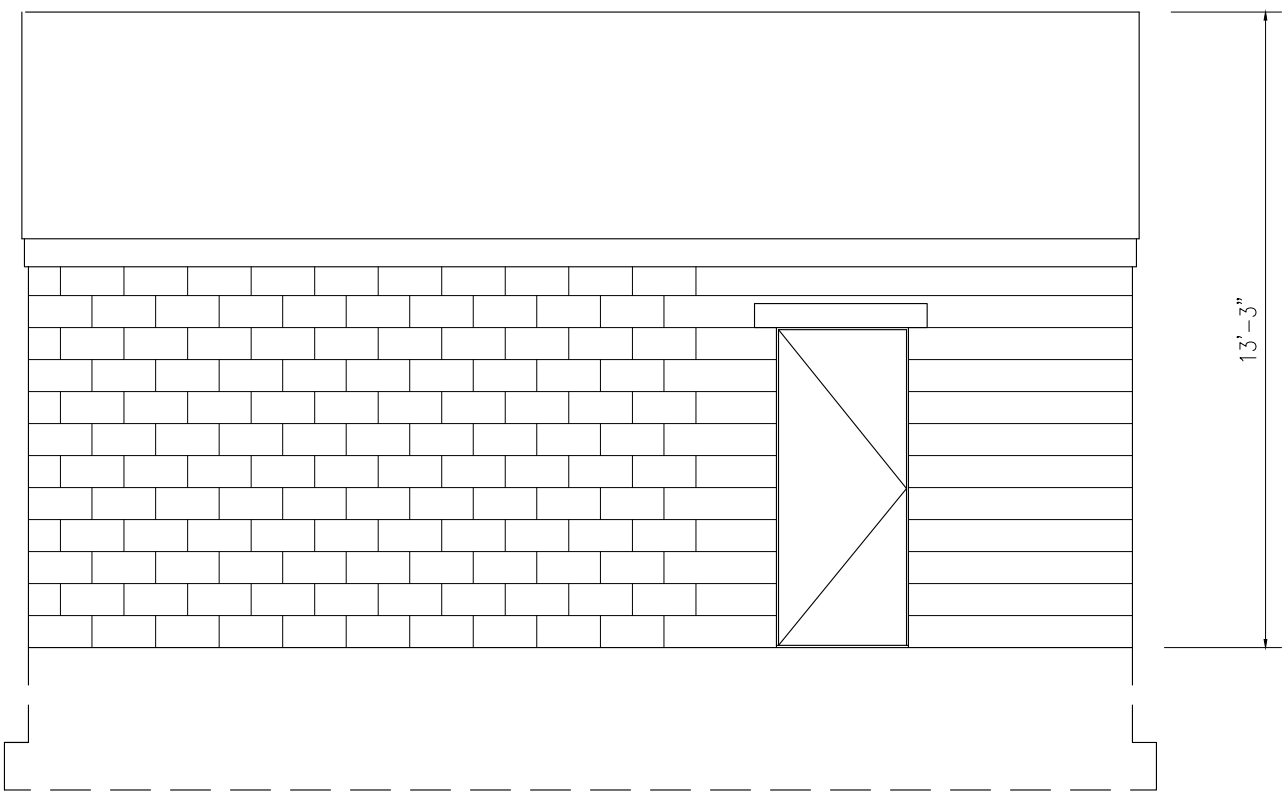


EAST ELEVATION

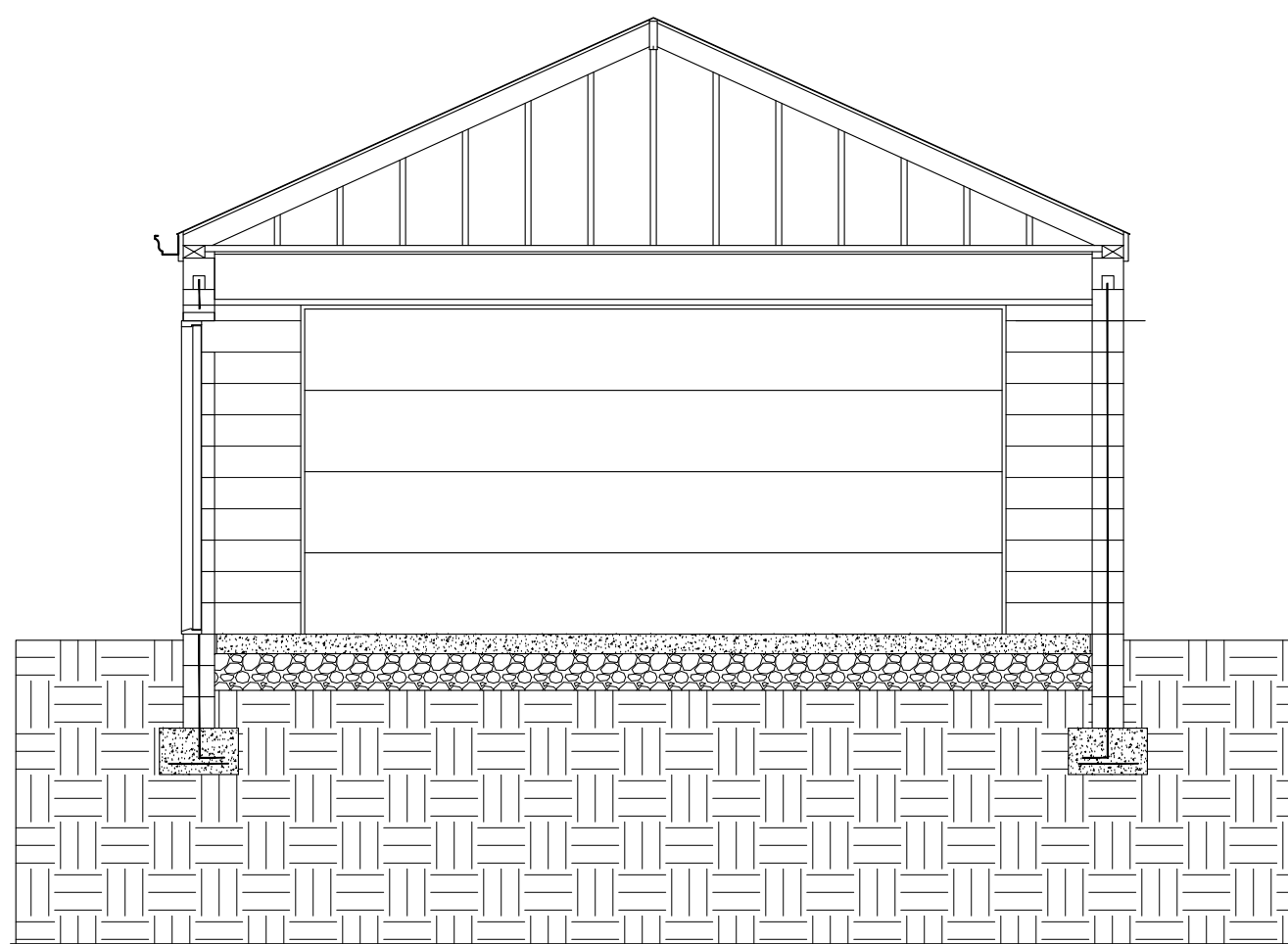


SECTION A-A

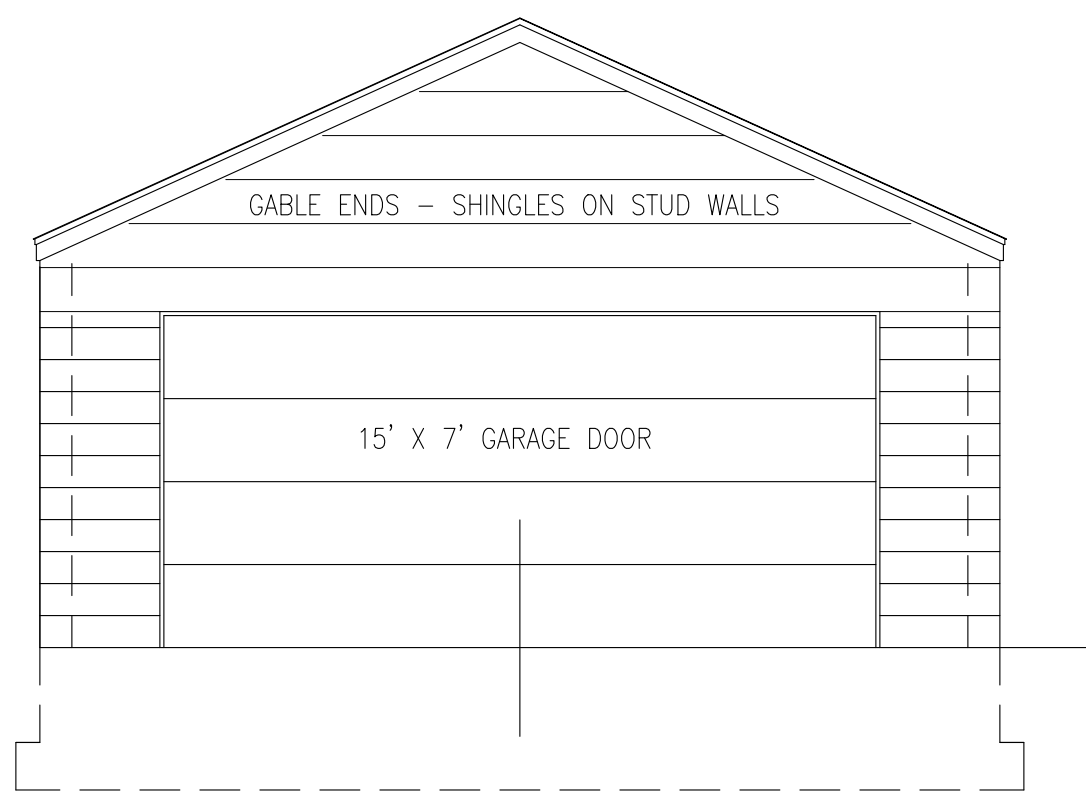
SECTION B-B



WEST ELEVATION



SECTION C-C.5



SOUTH ELEVATION

DONALD & LIISA SCLARE
ARCHITECTS
20 South Washington Street
Port Washington, NY 11050
917) 865-1618

REVISED PER OMISSION LETTER
DATED 1/26/23
REVISION DATE

Maintain Existing Conditions
to the Garage at

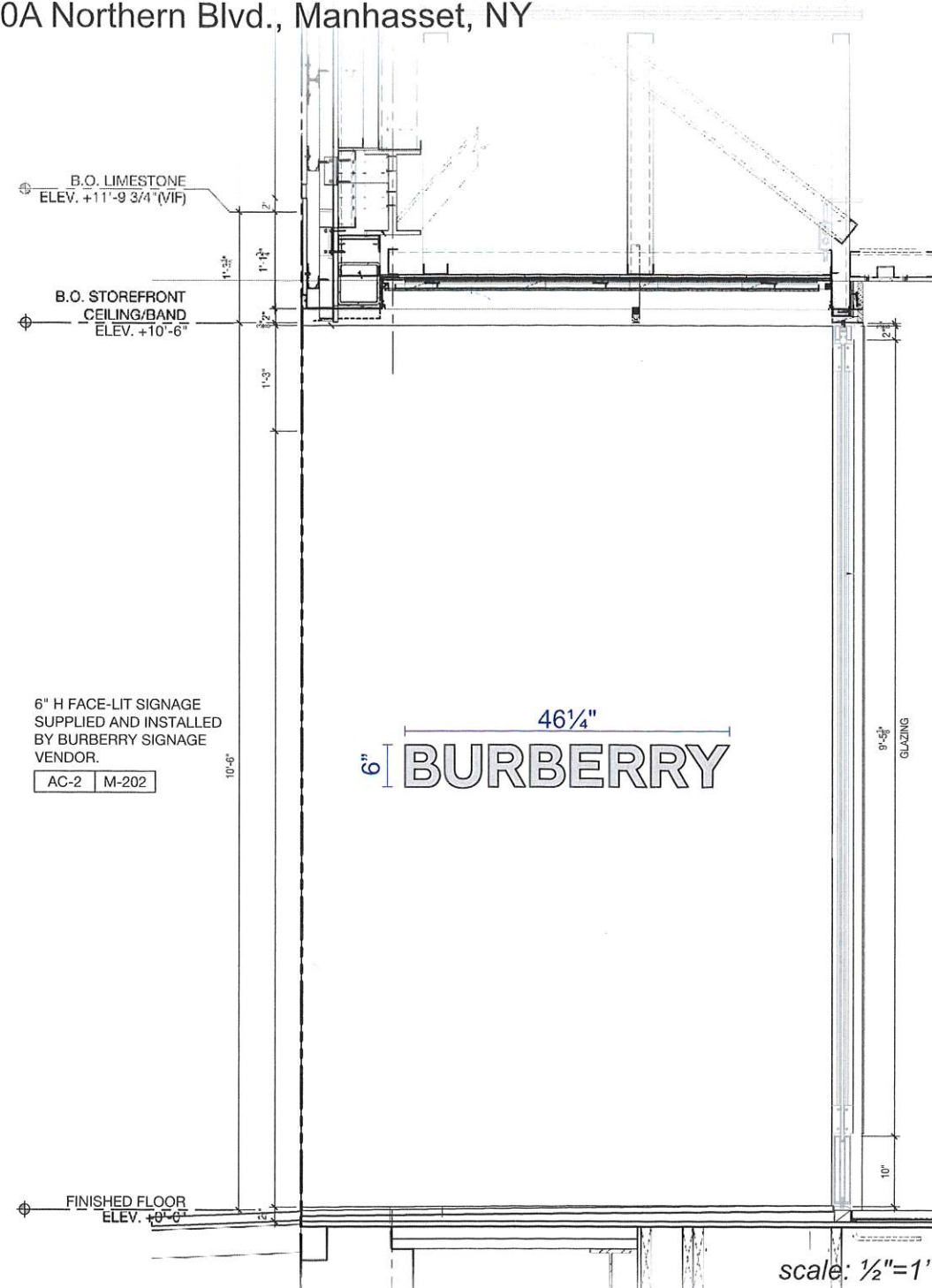
36 South Bayles Avenue
Port Washington, N. Y.
11050

DRAWING TITLE:
GARAGE PLANS, ELEVATIONS
AND SECTIONS

SEAL	SCALE: 1/4"=1'-0"	PROJECT NO.:
	DATE: 1. 23. 23.	DRAWING NO.:
	DRAWN BY:	A-2
	CHECKED BY:	SHEET
FILE:	OF	

Attn: Michael R., Kristine F., David S. & Michael L.
 Customer: BURBERRY @ AM
 Address: 2110A Northern Blvd., Manhasset, NY

#21365



1 set of internally illuminated channel letters
 Size: 6"h X 46.5"w X 2"d
 Colors: Aluminum sides w/ White Acrylic
 illumination: White LEDs w/ remote drivers
 Installation: mounted on Limestone fascia

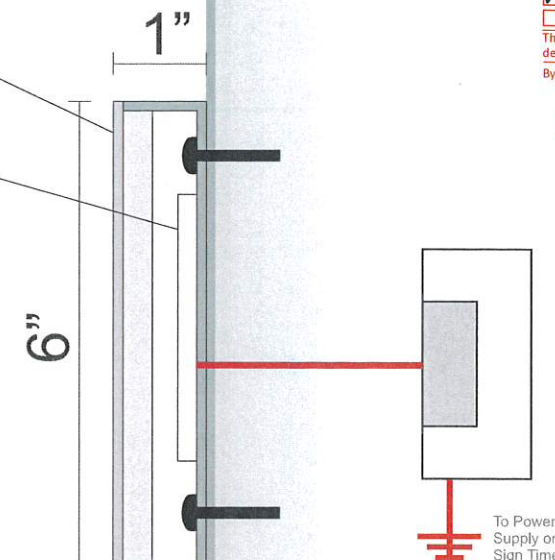
Overall Sign size: 6"h X 46.5"w = 2 Sq. Ft.

Limestone
Fascia

Acrylic Face

LEDs

Aluminum
Backs
& Returns



SUBMITTAL REVIEW Rev 2016

☐ REVIEW NOT REQUIRED.

☐ SUBMITTAL NON-RESPONSIVE OR INCOMPLETE. Resubmit as noted.

Review is conducted for the limited purpose of checking for general conformance to information given and design intent expressed in the Contract Documents. If more than one submittal review stamp appears on the submittal, the most stringent action and notations shall apply. The Contractor is responsible for quantities, dimensions (which shall be correlated at the job site), fabrication processes and techniques of construction, and coordination of all trades.

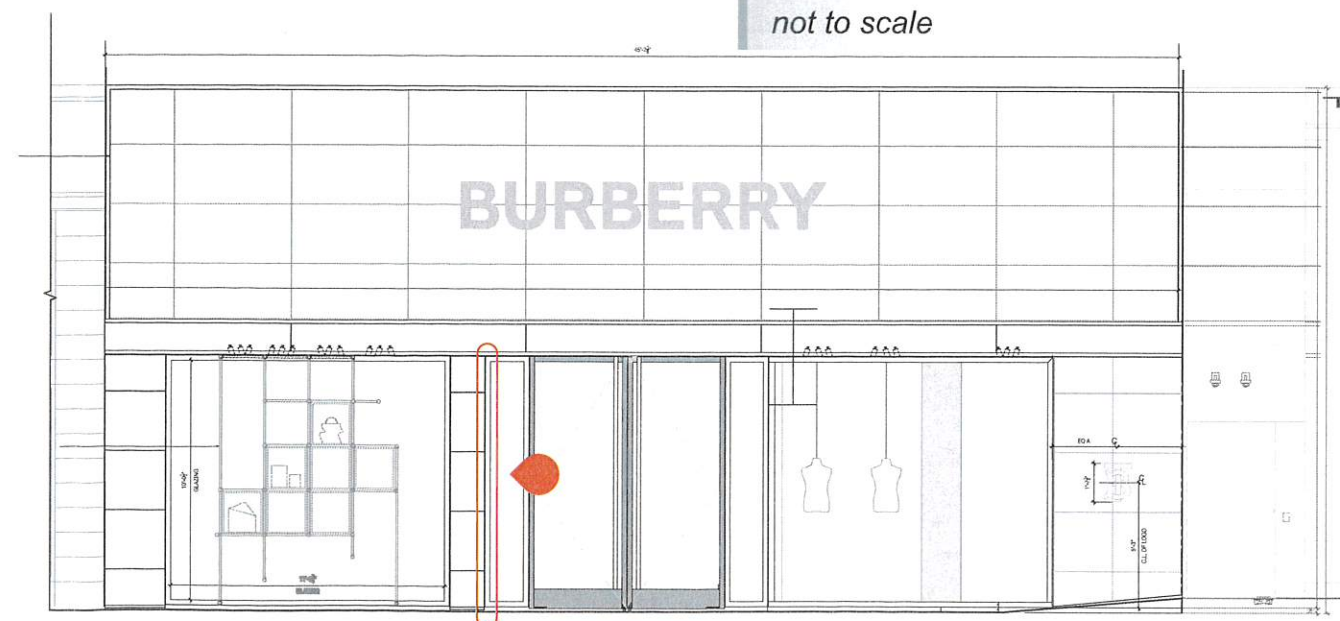
☒ NO EXCEPTIONS TAKEN. ☐ REVISE AND RESUBMIT.

☐ INCORPORATE NOTED CORRECTIONS INTO THE WORK.

This review does not authorize changes to the Contract Documents unless such deviations are clearly noted and specifically agreed to by the reviewer.

By: michael.rostkowski on Jan 13, 2023 CallisonRTKL

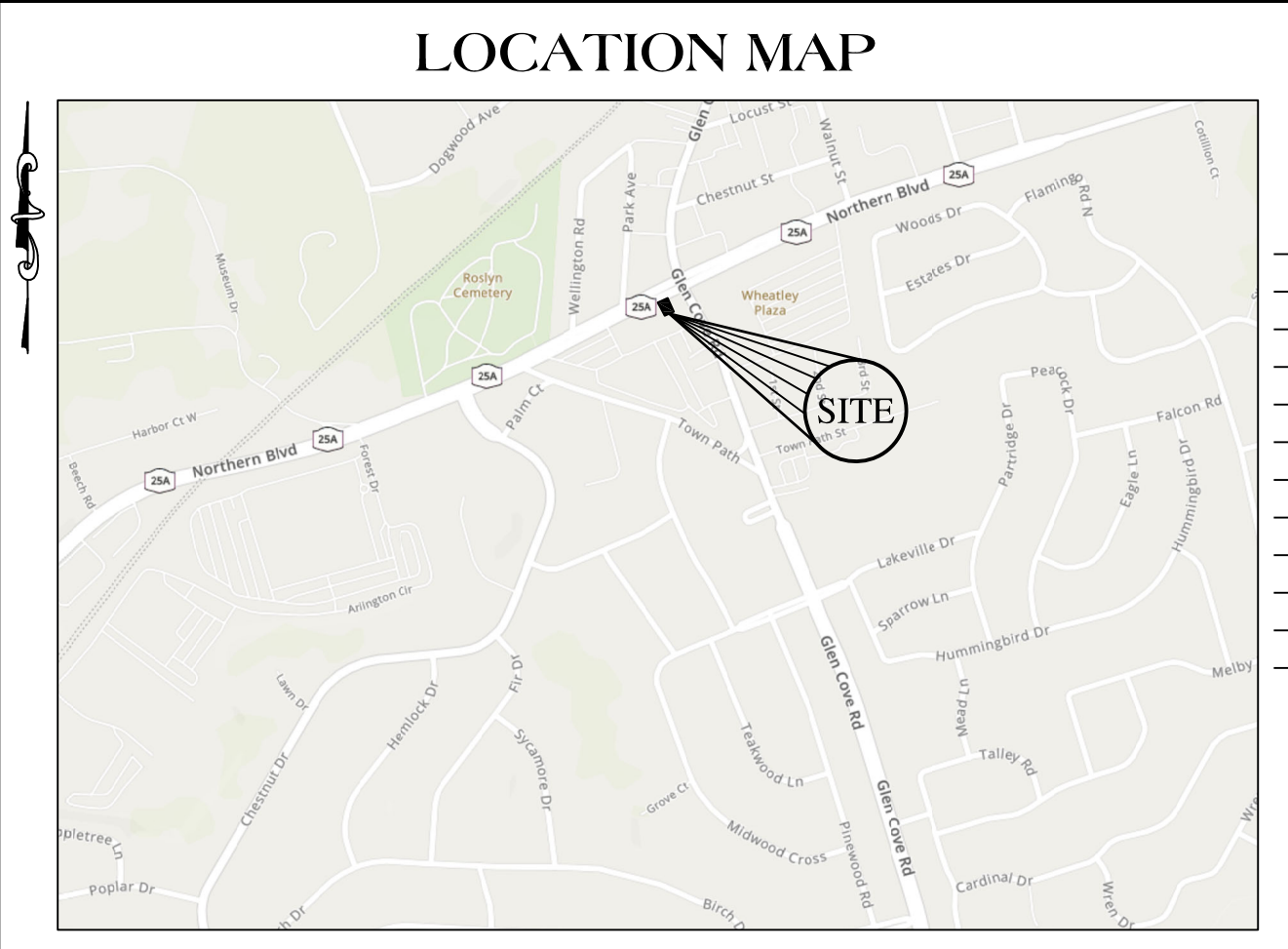
Approved for Permit



#21366

PROPOSED STARBUCKS
DRIVE THRU ONLY

AT
114 NORTHERN BOULEVARD
GREENVALE, NEW YORK 11548



SCOPE OF WORK NOTES:

- DEMOLITION
1. DEMOLISH EXISTING RETAINING STAIRS AND RETAINING WALL ON SOUTH SIDE OF PROPERTY.
 2. DEMOLISH ALL ONSITE CURBING.
 3. REMOVE ALL CURBING AND SIDEWALK ALONG NORTHERN BOULEVARD.

- CONSTRUCTION
4. CONSTRUCT NEW 1,325 S.F. STARBUCKS BUILDING.
 5. INSTALL NEW UNDERGROUND UTILITIES.
 6. INSTALL NEW CURBING AND SIDEWALK ALONG NORTHERN BOULEVARD.
 7. INSTALL NEW ONSITE CURBING, ASPHALT, AND CONCRETE.
 8. INSTALL NEW RETAINING WALL AT SOUTHWEST CORNER OF PROPERTY.
 9. INSTALL NEW AREA LIGHTS.
 10. INSTALL NEW LANDSCAPING.
 11. INSTALL NEW ID SIGN.
 12. INSTALL NEW TRASH ENCLOSURE.

DRAWING INDEX		
SHEET	DRAWING TITLE	LAST REVISED
T1.0	COVER SHEET	-
C1.0	DEMOLITION PLAN	-
C2.0	PROPOSED SITE PLAN	11/30/22
C3.0	PROPOSED GRADING & DRAINAGE PLAN	-
C4.0	PROPOSED LANDSCAPE PLAN	-
C5.0	PROPOSED LIGHTING PLAN	-
C6.0	PROPOSED SEDIMENT CONTROL PLAN	-
C7.0	SIGN-DETAILS	-
C8.0	SIGN-DETAILS	-
C9.0	SIGN-DETAILS	-
C10.0	BUILDING-SIGNAGE	-
C11.0	SITE-DETAILS	-
C12.0	SITE-DETAILS	-
C13.0	CURB-GUT, PAVEMENT-MARKINGS, & SIGN-LOCATION-PLAN	-
C14.0	DPW-SITE-DISTANCE-PLAN & TRAFFIC-ENTRANCE-PLAN	-
A1.0	FLOOR PLAN	-
A2.0	EXTERIOR ELEVATIONS	-
A3.0	EXTERIOR ELEVATIONS	-

SITE DATA:

LOCATION: SOUTH SIDE OF NORTHERN BOULEVARD APPROXIMATELY 94' WEST OF GLEN COVE ROAD GREENVALE TOWN OF NORTH HEMPSTEAD COUNTY OF NASSAU STATE OF NEW YORK	ZONING DISTRICT: BUSINESS B (BB)	LOT SIZE: 19,560 SQ.FT. (0.45 ACRES)
APPLICANT/OWNER: STERLING ASTORIA LLC C/O AJM 2 JERICHO PLAZA-- SUITE 101 JERICHO, NY 11753	BUILDING CONSTRUCTION CLASSIFICATION: 11b OCCUPANCY CLASSIFICATION: BUSINESS-- GROUP B • SPRINKLER NOT REQUIRED & NO SPRINKLER PROPOSED • FIRE ALARM REQUIRED & AUTOMATIC FIRE ALARM PROPOSED • PREVIOUS OCCUPANCY CLASSIFICATION BUSINESS-- GROUP B (NO CHANGE) • PREVIOUS USE-- BANK	EXISTING BUILDING AREA: N/A-- BUILDING HAS BEEN DEMOLISHED PROPOSED BUILDING AREA: 1,325 SQ.FT. PROPOSED LOT COVERAGE: 6.8%
TAX MAP I.D. SECT: 7 BLOCK: D LOT(S): 2 & 3		

CATAPANO ENGINEERING & ARCHITECTURE, P.C.

ENGINEERING SITE PLANNING ARCHITECTURE PERMITTING COMPLIANCE

585 BROADHOLLOW ROAD, MELVILLE, NY 11747
TEL: (631) 694-9696 FAX: (631) 694-0394
www.catapano.com

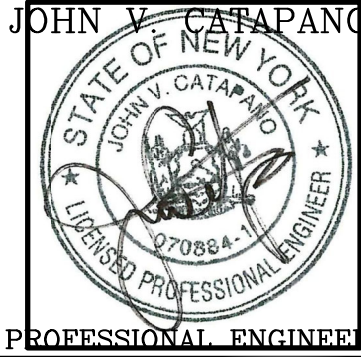
No.	REVISIONS / ISSUE	DATE	BY

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PROJECT:
STARBUCKS
114 NORTHERN BOULEVARD
GREENVALE, NEW YORK 11548

SECTION: 7
BLOCK: D
LOT(S): 2 & 3

DRAWING:
COVER SHEET

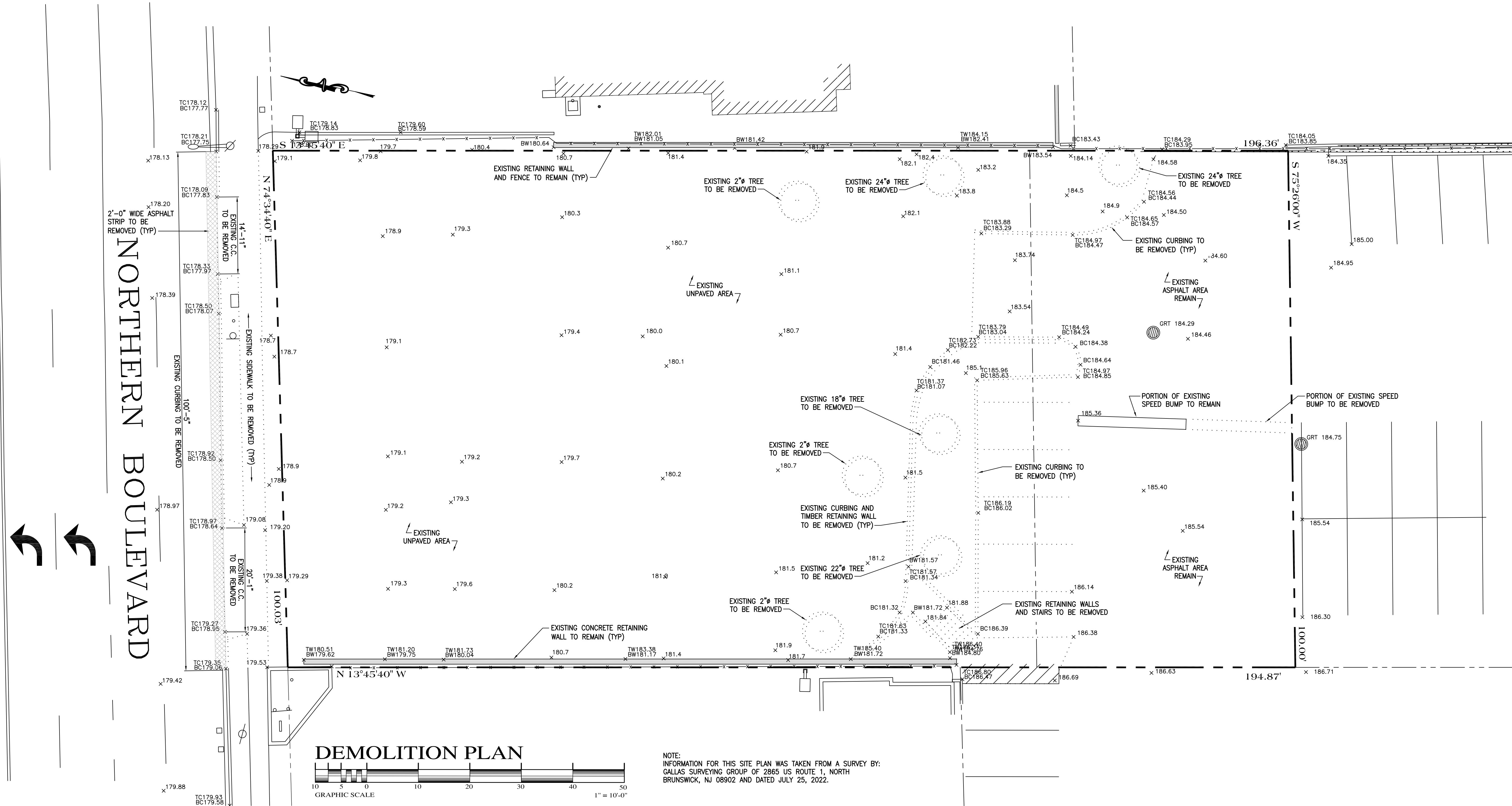


LICENSE	
NY	No. 70884
NJ	No. 40081
CT	No. 19197
PA	No. 50837
DE	No. 12535

PROJECT: 2021076	DATE: 9/20/22
---------------------	------------------

REFERENCE: G:\2021DWG	DRAWN BY: JG
--------------------------	-----------------

SCALE: AS NOTED	T1.0
DWG. No. 2021076...	



LINE / SYMBOL LEGEND	
PROPERTY LINE	---
TO BE REMOVED	---
WATER	---
ELECTRICAL	---
GAS	---
TELEPHONE	---
SANITARY SEWER	---
STORMWATER DRAIN PIPE	---
OVERHEAD WIRES	---
FENCE	---
STOCKADE FENCE	---
UTILITY POLE	---
STORMWATER FLOW DIRECTION	---
PROPOSED DRYWELL	---
CLOSED INLET	---
OPEN INLET	---
EXISTING GRADE	---
PROPOSED GRADE	---
RIDGE LINE	---
STRUCTURE I.D. No.	---

ABBREVIATIONS	
ABV	---
AFF	---
AG	---
BC	---
CB	---
CONC	---
CONST	---
CONT	---
CPP	---
DIAM	---
DIP	---
ETR	---
EXIST	---
FD	---
F/G	---
FRP	---
FTG	---
GA	---
GV	---
MET	---
NTS	---
O.H.	---
PLCS	---
PRO	---
PVC	---
RCP	---
REINF	---
SD	---
ST	---
TBR	---
TC	---
TOG	---
VIF	---
WWM	---
GAGE, GAUGE	---
GALVANIZED	---
METAL	---
NOT TO SCALE	---
OVER HEAD	---
PLACES	---
PROPOSED	---
POLYVINYL CHLORIDE	---
REINF. CONC. PIPE	---
REINFORCED	---
STORM DRAIN	---
STEEL	---
TO BE REMOVED	---
TOP OF CURB	---
TOP OF GRATE/CASTING	---
VERIFY IN FIELD	---
WELDED WIRE MESH	---

CATAPANO ENGINEERING & ARCHITECTURE, P.C.

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REVISIONS / ISSUE	DATE	BY
No.		

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PROJECT: STARBUCKS

114 NORTHERN BOULEVARD

GREENVALE, NEW YORK 11548

SECTION: 7

DRAWING: DEMOLITION PLAN

LOT(S): 2 & 3

BLOCK: D

JOHN V. CATAPANO

STATE OF NEW YORK

PROFESSIONAL ENGINEER

70984

NY No. 70884

NJ No. 40081

PA No. 19197

DE No. 50837

DE No. 12535

PROJECT: 2021076	DATE: 9/20/22
REFERENCE: G:\2021DWG	DRAWN BY: JG
SCALE: AS NOTED	DWG. No. C1.0
2021076...	

SITE DATA:

APPLICANT/OWNER:
STERLING ASTORIA LLC
C/O AJM
2 JERICO PLAZA- SUITE 101
JERICO, NY 11753

ZONING DISTRICT: BUSINESS B (BB)
USE: STARBUCKS DRIVE-THRU ONLY

- STARBUCKS REQUIRES A SPECIAL PERMIT FROM ZBA PER SECTION 70-140A
- DRIVE THRU REQUIRES A SPECIAL PERMIT FROM THE TOWN BOARD PER 20-203T(1)

TOWN OF NORTH HEMPSTEAD SIGN CHART BUSINESS B DISTRICT

	PERMITTED	SECTION	PROPOSED
MAXIMUM NUMBER OF WALL SIGNS	3 (1 PER STREET/PARKING AREA)	70-196-J(1)(a)	5
MAXIMUM SIZE OF WALL SIGN FACING STREET	4'-6" HIGH MAX/56 S.F. MAX	70-196-J(1)(b)	4' HIGH/16 S.F. 1'-9" HIGH/7 S.F. TOTAL= 23 S.F.
MAXIMUM SIZE OF WALL SIGN FACING WEST PARKING	2'-0" HIGH MAX/24 S.F. MAX	70-196-J(1)(b)	5'-0" HIGH/25 S.F.
MAXIMUM SIZE OF WALL SIGN FACING SOUTH PARKING	2'-0" HIGH MAX/24 S.F. MAX	70-196-J(1)(b)	1'-4" HIGH/17 S.F. 1'-9" HIGH/7 S.F. TOTAL= 24 S.F.
MAXIMUM NUMBER OF GROUND SIGNS	1	70-196-J(2)(a)	1
MAXIMUM AREA OF GROUND SIGN	24 S.F.	70-196-J(2)(b)	20.42 S.F.
MAXIMUM HEIGHT OF GROUND SIGN	15'	70-196-J(2)(b)	17'-4"
MINIMUM SETBACK OF GROUND SIGN	10'	70-196-J(2)(c)	5'-0"
MINIMUM OPEN SPACE OF GROUND SIGN	3' IN HEIGHT	70-196-J(2)(d)	11'-6"
DRIVE THRU SIGNS	N/A	-	3 SIGNS-2.6 S.F. EACH
PRE-MENU BOARDS	N/A	-	2 SIGNS-8.4 S.F. EACH
5-PANEL MENU BOARDS	N/A	-	2 SIGNS-28.1 S.F. EACH
THANK YOU SIGN	N/A	-	1 SIGN-2.6 S.F.
CLEARANCE BAR SIGNS	N/A	-	2 BARS-6.0 S.F. EACH

NOTE: HIGHLIGHTED ITEMS WILL REQUIRE A VARIANCE

TOWN OF NORTH HEMPSTEAD- ZONING CHART BUSINESS B DISTRICT

	ALLOWED/REQ.	SECTION	PROPOSED
MAXIMUM BUILDING HEIGHT	3 STORIES/40 FEET	70-142A	1 STORY/18'-0"
MINIMUM LOT AREA	2,000 S.F.	70-143A	19,560 S.F.
MAXIMUM LOT COVERAGE	85%	70-144	6.8%
MINIMUM FRONT YARD SETBACK	0'	70-145	23'-9" TO BDLG 18'-7" TO CANOPY
MINIMUM REAR YARD SETBACK	15'	70-146A	118'-5" TO BLDG 115'-6" TO CANOPY
MINIMUM SIDE YARD SETBACK	0'	70-146B	19'-10"

PARKING CALCULATIONS (SECTION 70-103A(1)):
MINIMUM STALL SIZE 10'x20' (FIGURE 70-231)
PROPOSED STALL SIZE 9'x20'-2" WITH 60° ANGLE (PER SECTION 70-103N)
RETAIL FOOD USE, NO SEATING= 1 PER 300 S.F. IN EXCESS OF 1,000 S.F.
REQUIRED PARKING= (1,325-1,000)/300= 2 SPACES REQUIRED
TOTAL SPACES PROVIDED FOR STARBUCKS= 4 INCLUDING 1 HANDICAP STALL

LOADING REQUIREMENTS (SECTION 70-103F(1)):
MINIMUM LOADING SPACE PER 10,000 S.F.
REQUIRED LOADING STALLS= 1,325/10,000= 1 LOADING SPACE REQUIRED
0 LOADING SPACES PROVIDED

DRIVE THRU REQUIREMENTS (SECTION 70-203T(2)(a)):
SIZE VEHICLE STANDING SPACES= 10'x20'
MINIMUM REQUIRED INBOUND VEHICLE STANDING SPACES= 3
14 INBOUND VEHICLE STANDING SPACES PROVIDED
MINIMUM REQUIRED OUTBOUND VEHICLE STANDING SPACES= 1
1 OUTBOUND VEHICLE STANDING SPACE PROVIDED

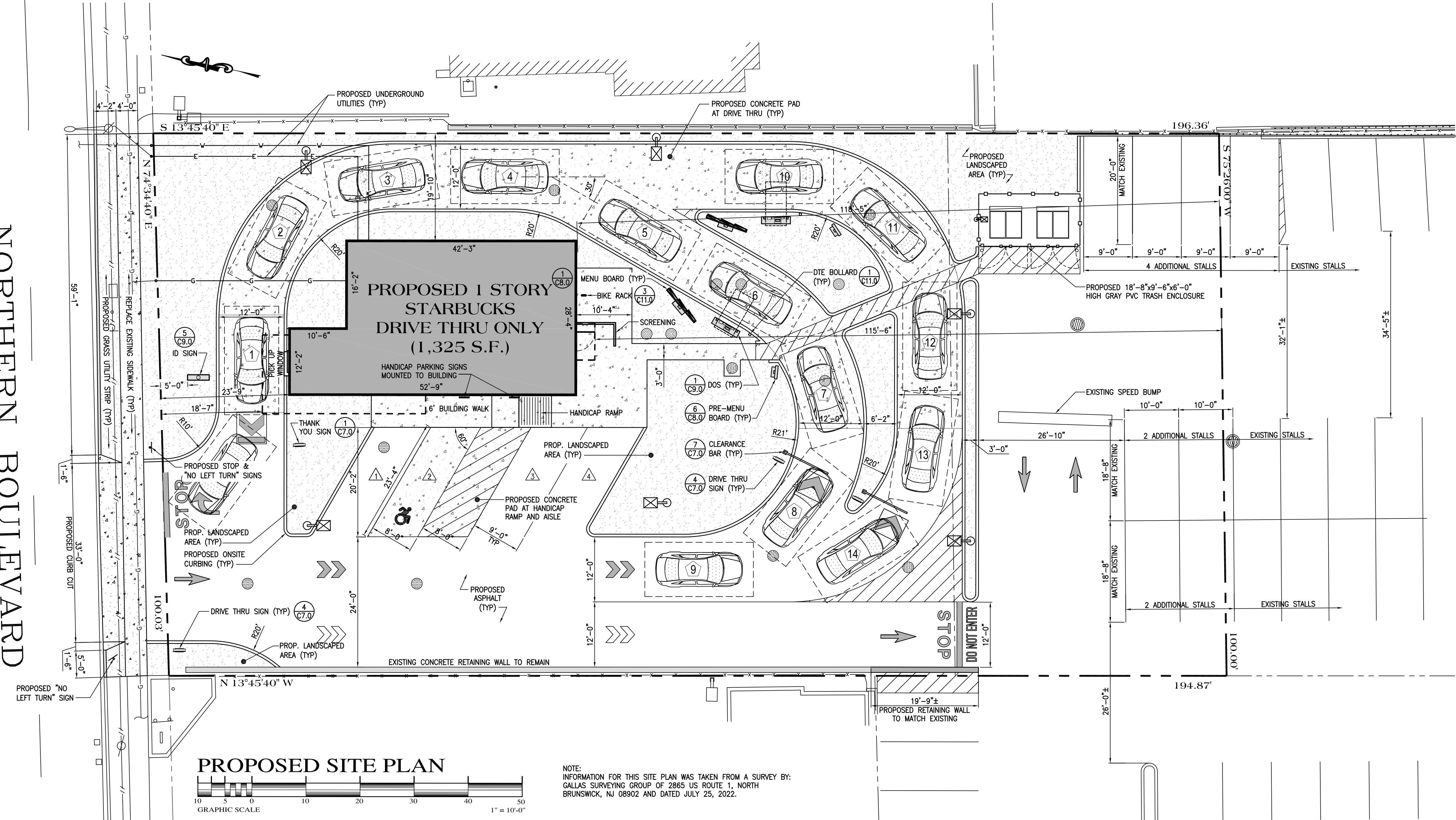
BYPASS LANE REQUIREMENTS (SECTION 70-203T(2)(i)):
10' WIDE BYPASS LANE REQUIRED
NO BYPASS LANE PROVIDED

REFRIGERATED GARBAGE LOCKER/PUTRESCIBLE WASTE (SECTION 70-203W):
FOR COMPLIANCE, TENANT WILL PROVIDE A PROVIDE AN INTERIOR REFRIGERATED GARBAGE LOCKER FOR PUTRESCIBLE WASTE AND ARRANGE FOR INDOOR CARRY-OUT/PICK-UP WITH A LICENSED SANITATION COLLECTOR. (SEE FLOOR PLAN ON PAGE A1.0)

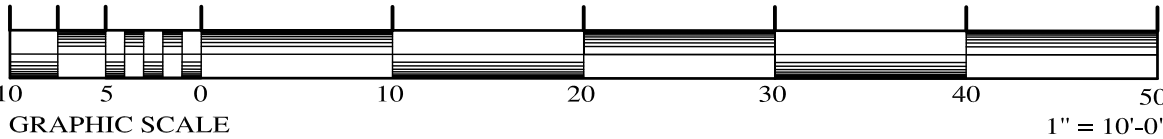
NOTE: HIGHLIGHTED ITEMS WILL REQUIRE A VARIANCE

LINE / SYMBOL LEGEND		ABBREVIATIONS	
PROPERTY LINE	---	ABV	--- ABOVE
TO BE REMOVED	----	AFF	--- ABOVE FINISHED FLOOR
WATER	~~~~~	AG	--- ABOVE FINISHED GRADE
ELECTRICAL	---	BC	--- BOTTOM OF CURB
GAS	---	CB	--- CATCH BASIN
TELEPHONE	---	CONC	--- CONCRETE
SANITARY SEWER	---	CONST	--- CONSTRUCTION
STORMWATER DRAIN PIPE	---	CONT	--- CONTINUOUS/CONTINUE
OVERHEAD WIRES	---	CPP	--- CORRUGATED PLASTIC PIPE
FENCE	---	DIAM	--- DIAMETER
STOCKADE FENCE	---	DIP	--- DUCTILE IRON PIPE
UTILITY POLE	---	ETR	--- EXISTING TO REMAIN
STORMWATER FLOW DIRECTION	---	EXIST	--- EXISTING
		FD	--- FLOOR DRAIN
		F/G	--- FIBER GLASS
		FRP	--- FIBERGLASS REINF. PLASTIC
		FTG	--- FOOTING
		GA	--- GAGE, GAUGE
		GV	--- GALVANIZED
		MET	--- METAL
		NTS	--- NOT TO SCALE
		O.H.	--- OVER HEAD
		PLCS	--- PLACES
		PRO	--- PROPOSED
		PVC	--- POLYVINYL CHLORIDE
		RCP	--- REINF. CONC. PIPE
		REINF	--- REINFORCED
		SD	--- STORM DRAIN
		ST	--- STEEL
		TBR	--- TO BE REMOVED
		TC	--- TOP OF CURB
		TOG	--- TOP OF GRATE/CASTING
		VIF	--- VERIFY IN FIELD
		WWM	--- WELDED WIRE MESH

NORTHERN BOULEVARD



PROPOSED SITE PLAN



NOTE:
INFORMATION FOR THIS SITE PLAN WAS TAKEN FROM A SURVEY BY:
GALLAS SURVEYING GROUP OF 2865 US ROUTE 1, NORTH
BRUNSWICK, NJ 08902 AND DATED JULY 25, 2022.

CATAPANO ENGINEERING & ARCHITECTURE, P.C.

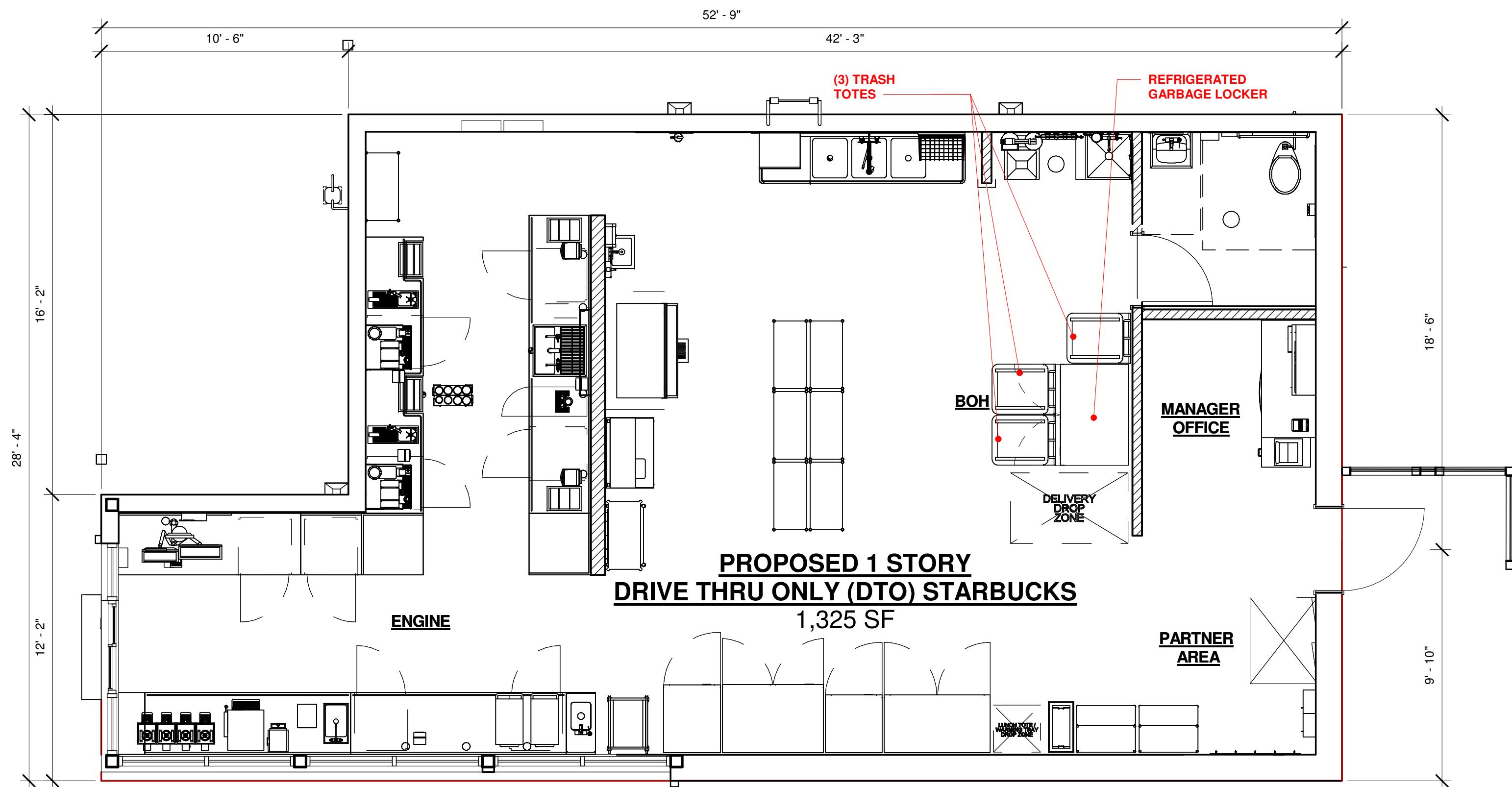
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TEL: (631) 694-9696 FAX: (631) 694-0394
www.catapano.com

REVISIONS / ISSUE	DATE	BY
1. REVISION AS PER TOWN COMMENTS DATED 11/22/22	11/28/22	JG
2. REVISION AS PER TOWN COMMENTS DATED 11/28/22	11/28/22	JG

PROJECT: STARBUCKS
114 NORTHERN BOULEVARD
GREENVALE, NEW YORK 11548
SECTION: 7
DRAWING: PROPOSED SITE PLAN
LOT(S): 2 & 3
BLOCK: D

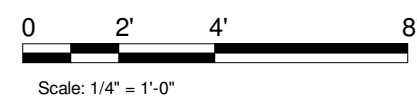
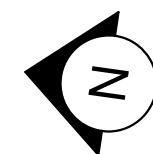
JOHN V. CATAPANO
STATE OF NEW YORK
LICENSED PROFESSIONAL ENGINEER
LICENSE NO. 70884
NY No. 70884
NJ No. 40081
CT No. 19197
PA No. 50837
DE No. 12535

PROJECT: 2021076
DATE: 9/20/22
REFERENCE: G:\2021DWG
DRAWN BY: JG
SCALE: AS NOTED
DWG. No. 2021076...
C2.0



1 FLOOR PLAN

Scale: 1/4" = 1'-0"



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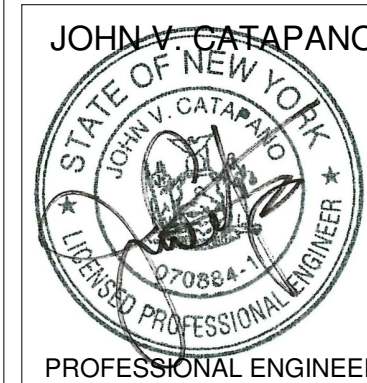
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PROJECT: **STARBUCKS**
114 NORTHERN BLVD.
GREENVALE, NEW YORK 11548

LOT(S): 2&3

DRAWING:

FLOOR PLAN



LICENSE:	NY	NO. 70884
	NJ	NO. 40081
	CT	NO. 19197
	PA	NO. 50837
	DE	NO. 12535

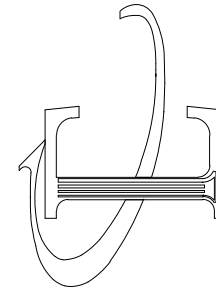
PROJECT: 2021076	DATE: 9/20/2022
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REFERENCE: G:\2021DWG	DRAWN BY: ISA
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1/4" = 1'-0"
DWG. No.
2021076...

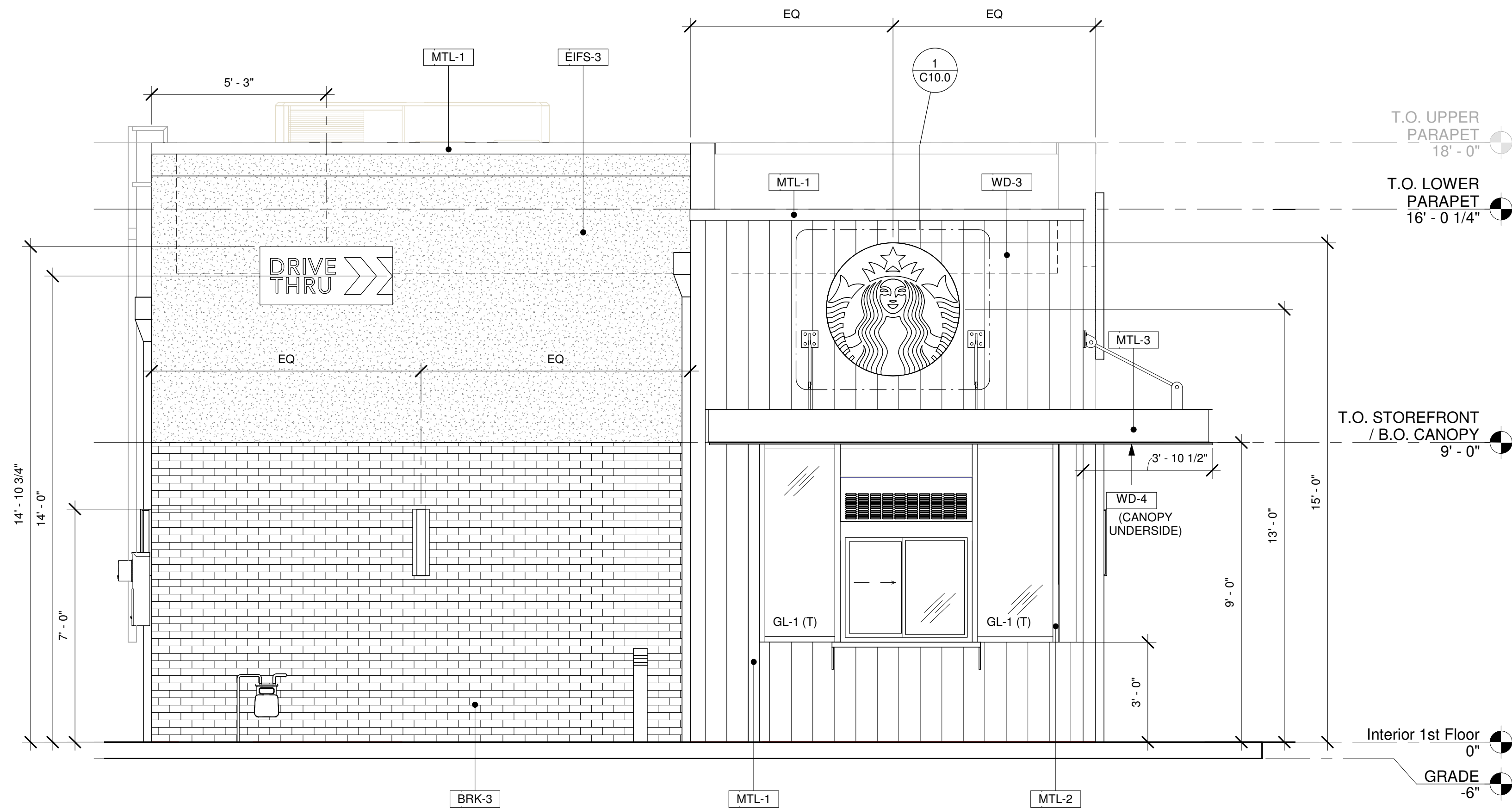
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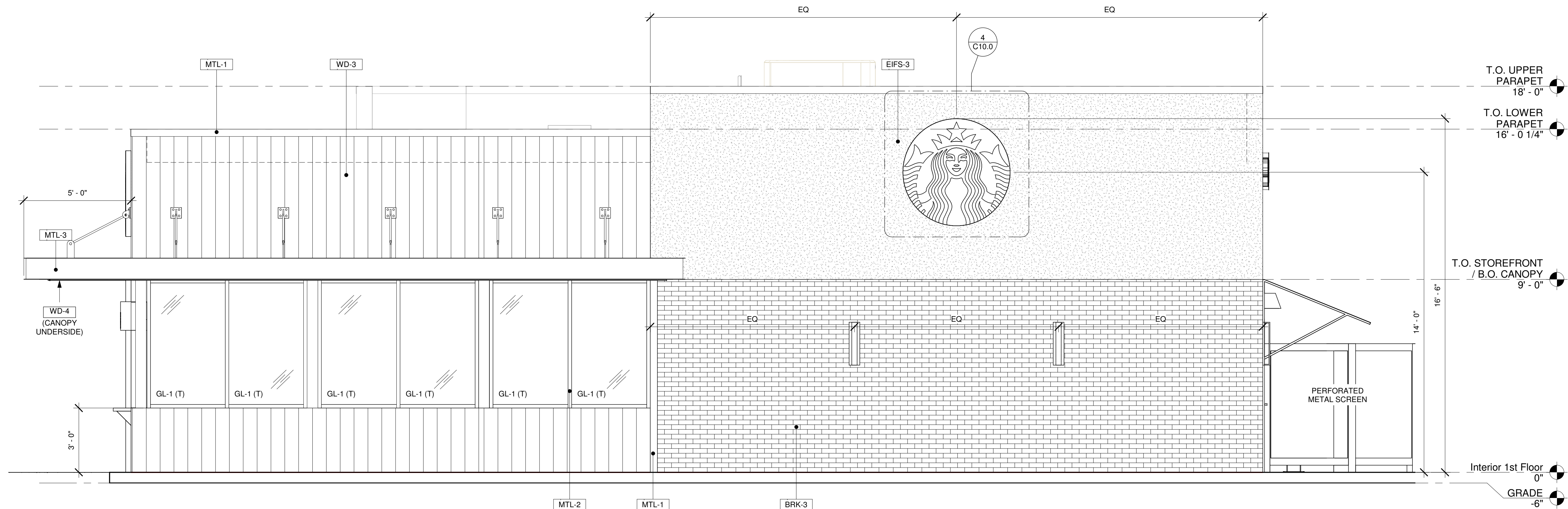


ENGINEERING SITE PLANNING ARCHITECTURE PERMITTING COMPLIANCE

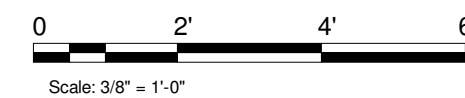
585 BROADHOLLOW ROAD, MELVILLE, NY 11747
TEL: (631) 694-9896 FAX: (631) 694-0394
www.catapano.com



1 EXTERIOR ELEVATION - NORTH
Scale: 3/8" = 1'-0"



2 EXTERIOR ELEVATION - WEST
Scale: 3/8" = 1'-0"

[illegible]

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PROJECT: **STARBUCKS**
114 NORTHERN BLVD.
GREENVALE, NEW YORK 11548

SECTION: 7 BLOCK: D LOT(S): 2&3

DRAWING: **EXTERIOR ELEVATIONS**

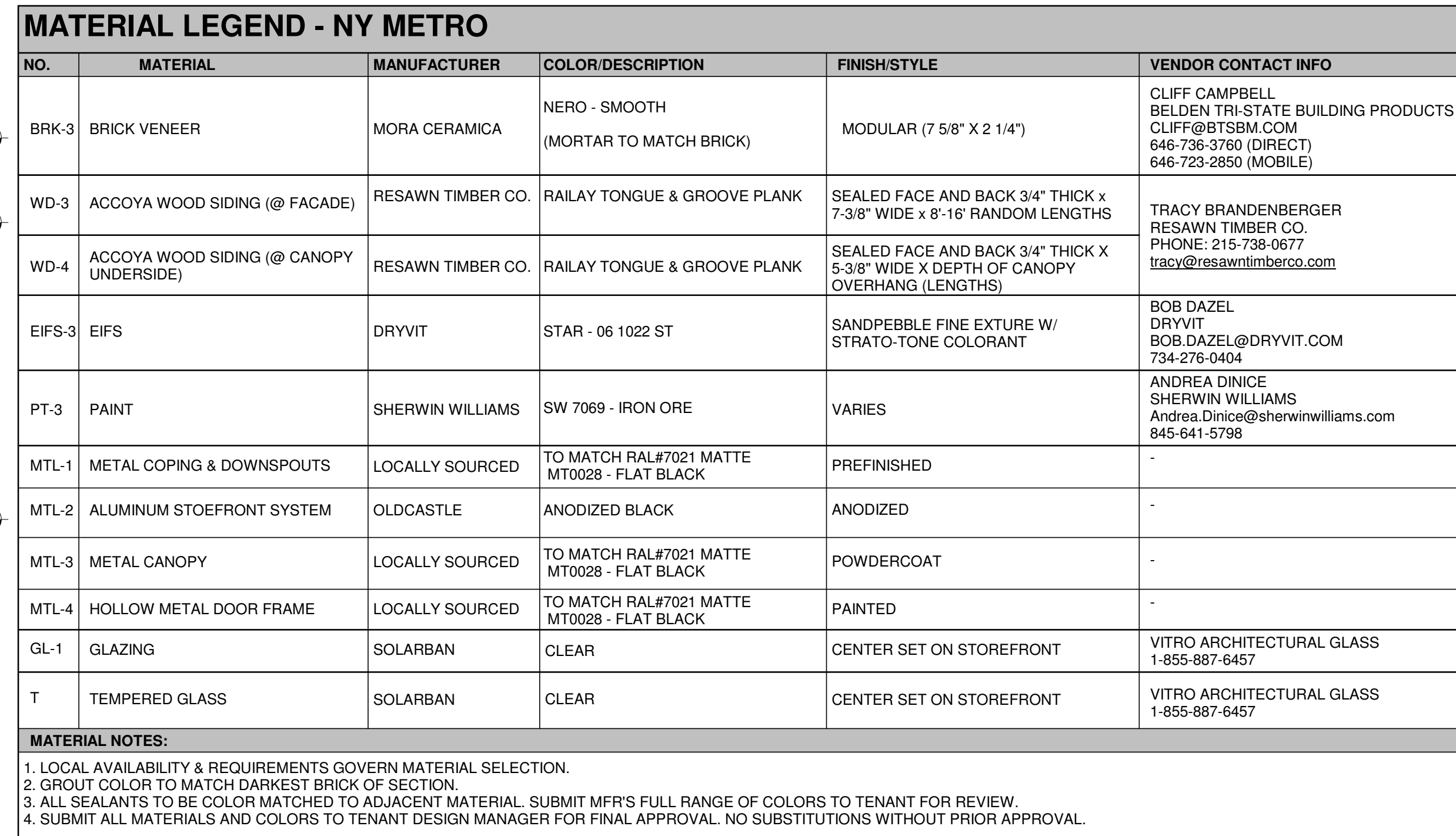


LICENSE:	NY	NO. 7088
	NJ	NO. 4008
	CT	NO. 1919
	PA	NO. 5083
	DE	NO. 1253

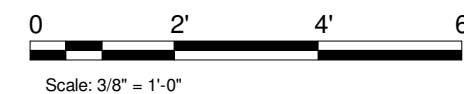
PROJECT:	DATE:
2021076	9/20/202

REFERENCE: G:\2021DWG	DRAWN ISA
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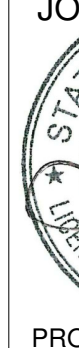
SCALE: 3/8" = 1'-0"	A2
DWG. No. 2021076...	



NOTE:
PERFORATED METAL SCREEN
NOT SHOWN FOR CLARITY



Scale: $3/8" = 1'-0"$

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		585 BROADHOLLOW ROAD, MELVILLE NY 11747			
		TEL: (631) 694-9696 FAX: (631) 694-0394			
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PROJECT: STARBUCKS 114 NORTHERN BLVD, GREENVALE, NEW YORK 11548		SECTION: 7 BLOCK: D LOT(S): 2&3		DRAWING: EXTERIOR ELEVATIONS	
JOHN V. CATAPANO  PROFESSIONAL ENGINEER					
LICENSE:					
NY	NO. 70884				
NJ	NO. 40081				
CT	NO. 19197				
PA	NO. 50837				
DE	NO. 12535				
PROJECT: 2021076		DATE: 9/20/2022			
REFERENCE: G:2021DWG		DRAWN BY: ISA			
SCALE: As indicated		A3.0			
DWG. No.					
2021076...					

ZONING DATA	
Section:	09
Block #	652
Lot #	18

#21367



SITE PLAN
Scale: 1/16"=1'-0"



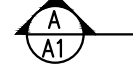
ARCHITECTURAL
CONCEPT INC.

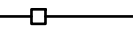
ARCHITECTURAL AND ENGINEERING SERVICES
1227 Tulip Avenue Franklin Square, NY 11010
TEL: 646-403-5592, FAX # 866-403-6314
E. Mail: ArchConcept1@Gmail.com

Project:
INSTALL FENCE ON PROPERTY LINE
2 SHELTER ROCK ROAD
ROSLYN, NY 11576

LEGEND

 CONCRETE WALL
  EARTH
  GRAVEL

 SECTION DESIGNATION
DRAWING NUMBER

 METAL FENCE

01	11-14-22	Issued for D.O.B. approval
NO.	Date:	Remarks

SITE PLAN

Scale: As shown

Drawn By Imran

Chk. By MJ

Drawing No. A-001.00

Date: 03-05-22 1 OF 2

Seal & signature



Project # 22-90

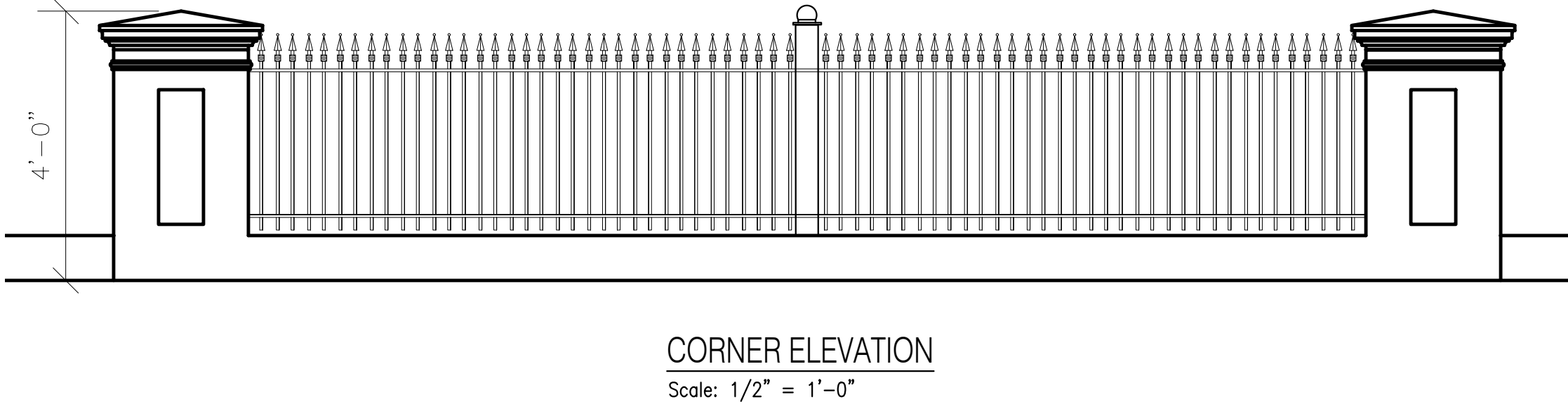
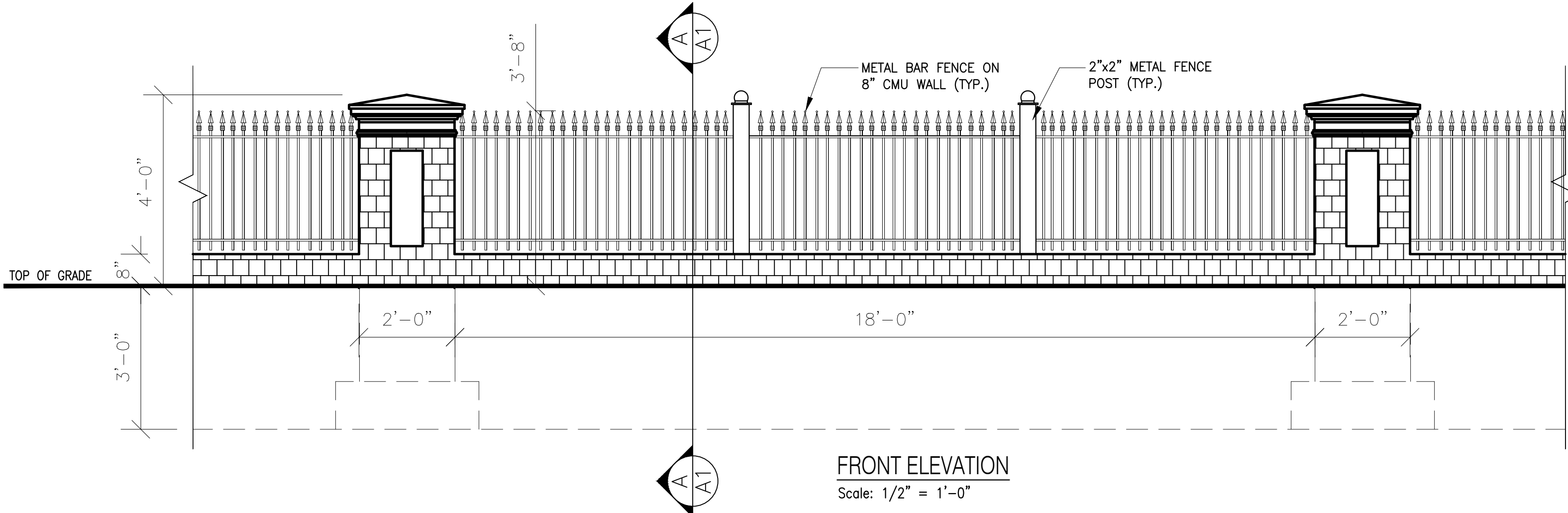
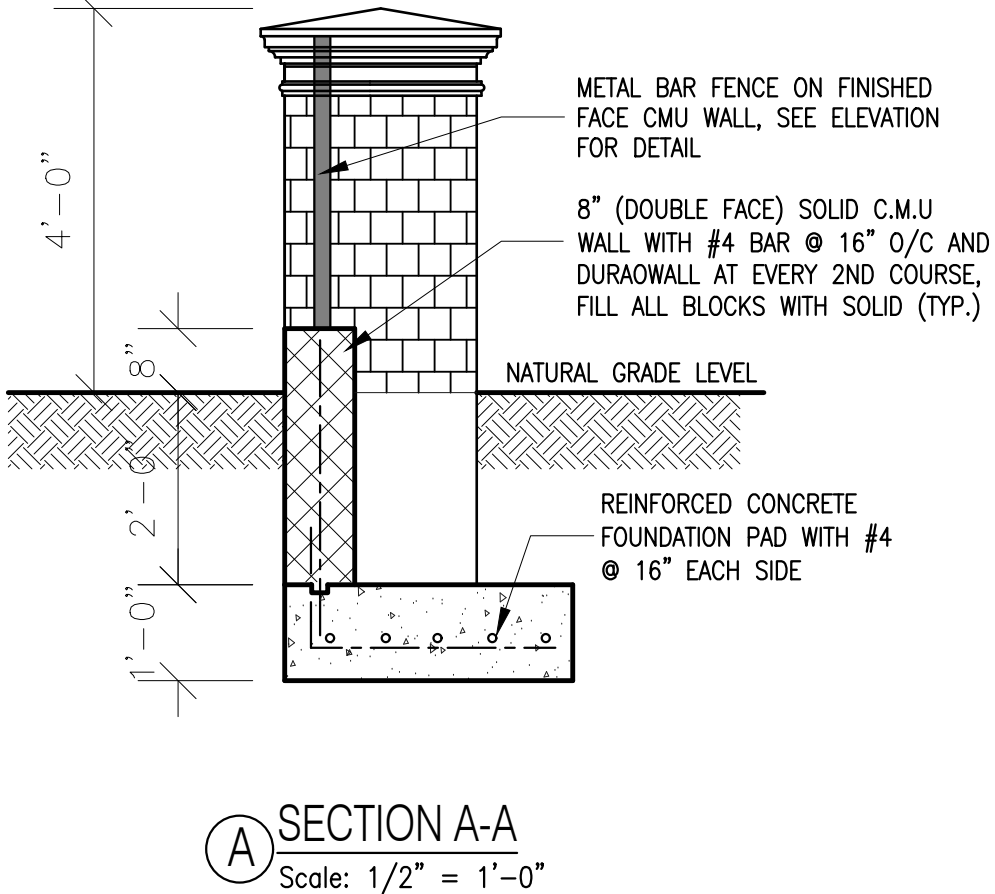
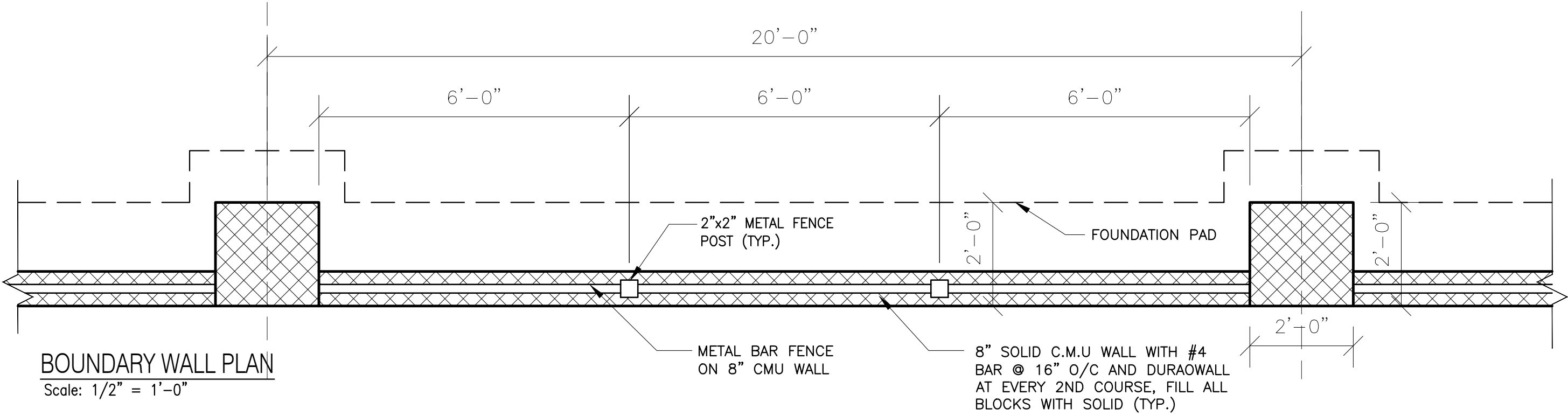
BUILDINGS DEPARTMENT APPLICATION #

FOUNDATION

1. NO FOUNDATION SHALL BE PLACED ON FROZEN SOIL OR IN FREEZING WEATHER UNLESS PROVISION HAS BEEN MADE TO MAINTAIN THE UNDERLYING SOIL FREE FROM FROST. EXCAVATIONS FOR FOUNDATIONS AND FOOTINGS SHALL BE DEWATERED PRIOR TO POURING CONCRETE. NO CONCRETE SHALL BE PLACED ON SOIL THAT HAS BEEN DISTURBED BY SEEPAGE.
2. ALL FOOTINGS SHALL BEAR DIRECTLY ON UNDISTURBED SOIL HAVING A MINIMUM SAFE BEARING CAPACITY AS NOTED ON PLANS.
3. BOTTOM OF FOOTINGS SHALL BE CARRIED DOWN ATLEAST FOUR FEET BELOW THE LOWEST LEVEL OF ADJOINING GROUND OR PAVEMENT SURFACE EXPOSED TO FROST.
4. NO BACKFILL SHALL BE PLACED AGAINST FOUNDATION WALLS UNTIL THEIR TIERS OF FRAMING, INCLUDING SLABS, WHICH BRACE THE WALLS HAVE BEEN PLACED. ALTERNATIVELY, ADEQUATE BRACING WHICH IS LEFT IN PLACE UNTIL THE BRACING TIERS ARE INSTALLED WILL BE ACCEPTABLE.
5. WHERE BOTTOM FOOTINGS ARE AT DIFFERENT LEVELS, STEP FOOTINGS FROM LOW LEVEL TO HIGH LEVEL ONE VERTICAL ON TWO HORIZONTAL.
6. THE DEPARTMENT OF BUILDINGS SHALL BE NOTIFIED AT LEAST TWO WORKING DAYS PRIOR TO CONSTRUCTION OF FOUNDATIONS.

CONCRETE

1. ALL CONCRETE WORK INCLUDING FORMS SHALL CONFORM TO N.Y.S. BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
2. DESIGN STRENGTH: MINIMUM COMPRESSIVE STRENGTH (f'_c) IN 28 DAYS FOR ALL FOOTINGS, FOUNDATION WALLS AND SLABS SHALL BE 4,000 psi.
3. PROPORTIONS AND MIXES:
- A. THE MINIMUM NUMBER OF BAGS OF CEMENT FOR EACH CUBIC YARDOF CONCRETE (ALL AGGREGATES) SHALL BE AS FOLLOWS:
- f'_c 4,000 psi, 5.75 BAGS PER CUBIC YARD.
- B. THE WATER-CEMENT RATIO SHALL BE PROPORTIONED CORRESPONDING TO A POINT ON THE STRENGTH VS. WATER-CEMENT RATIO CURVE REPRESENTING A STRENGTH OF CONCRETE AT LEAST 25% HIGHER THAN THE STRENGTH SPECIFIED ON THE PLANS.
- C. SLUMPS SHALL NOT EXCEED THE FOLLOWING:
1. 5" ($\pm 1"$) FOR CEMENT WITH GRAVEL AND STONE AGGREGATE.
4. CONCRETE AND REINFORCING MATERIALS SHALL CONFORM TO THE N.Y.S. CODE
5. AIR ENTRAINED CONCRETE: CONCRETE WHICH IN ITS FINAL STATE WILL BE EXPOSED TO FREEZING WEATHER SHALL HAVE A MIX DESIGNED WITH ENTRAINED AIR TO PROVIDE THE CONCRETE WITH MAXIMUM RESISTANCE TO FREEZING. (ALL ENTRAINING MIXTURES SHALL CONFORM TO ASTM 260).
6. SLAB ON GRADE: THICKNESS AS INDICATED ON PLANS. REINFORCE WITH 6X6 /10X10 WWF. SLABS TO BE PLACED ON POROUS FILL 6" THICK UNLESS OTHERWISE NOTED. CONCRETE TO BE 4,000 psi.



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ARCHITECTURAL AND ENGINEERING SERVICES
1227 Tulip Avenue Franklin Square, NY 11010
TEL: 646-403-5592, FAX # 866-403-6314
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Project:
INSTALL FENCE ON PROPERTY LINE
2 SHELTER ROCK ROAD
ROSLYN, NY 11576

- LEGEND**
- CONCRETE WALL
 - EARTH
 - GRAVEL
 - SECTION DESIGNATION
 - DRAWING NUMBER
 - METAL FENCE

01	11-14-22	Issued for D.O.B. approval
NO.	Date:	Remarks

NOTES, FENCE ELEVATIONS
AND FENCE DETAIL

Scale: As shown	Seal & signature
Drawn By Imran	
Chk. By MJ	
Drawing No. A-002.00	
Date: 03-05-22 2 OF 2	
Project # 22-90	BUILDINGS DEPARTMENT APPLICATION #

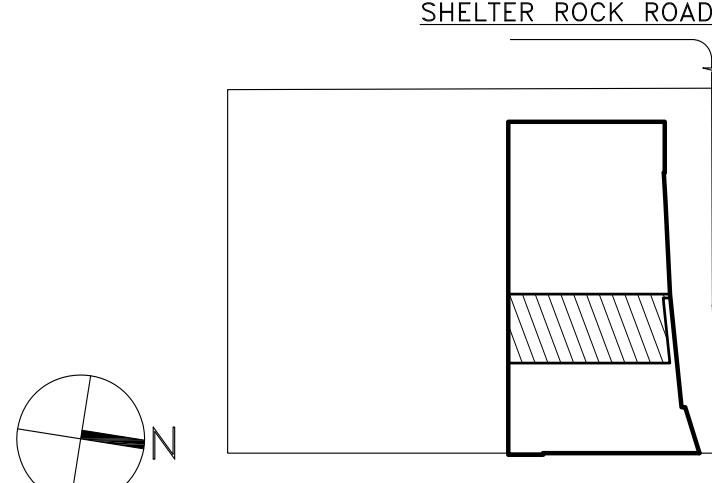
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NO.	DATE	REVISION
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2	10-21-22	GENERAL REVISION
3	11-15-22	GENERAL REVISION
4	11-15-22	REVISION #3
3	10-21-22	REVISION #2
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NO.	DATE	ISSUED

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SHELTER ROCK ROAD



DOR STAMP

CONSULTANT

ARCHITECT

0 100 200 300 400 500 600 700 800 900 1000

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 2. **CLASSIFICATION**

ARCHITECTURE PLANNING INT

PROJECT MANAGEMENT

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EMAIL: JGARCH@ORTONLINE.NET

PROPOSED INTERIOR ALTERATIONS



1504 NORTHERN BIRCH

DRAWING TITLE

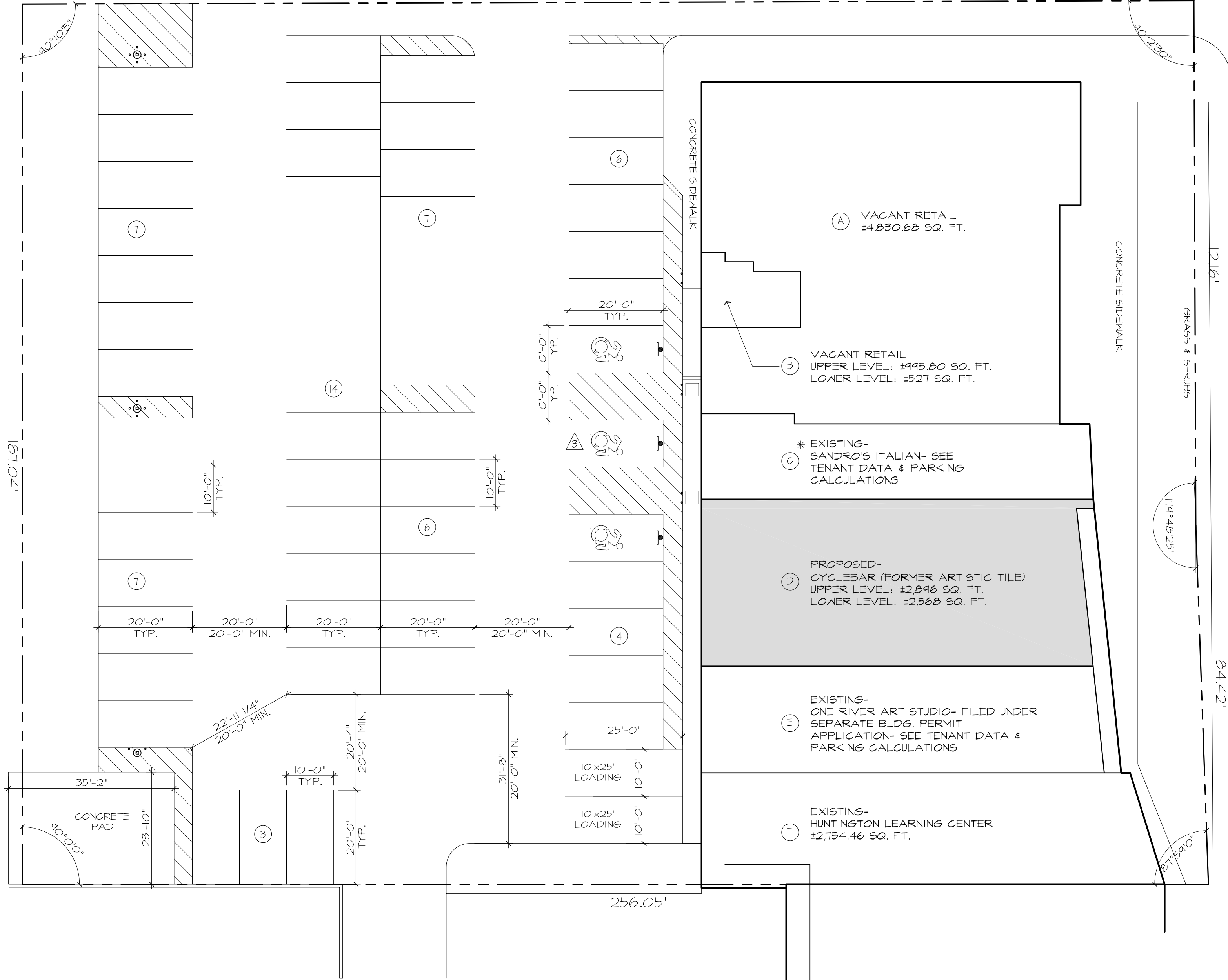
SITE PLAN PARKING CALCULATION

MARCH 22 2022

16

21130

AS SHOWN



TENANT DATA & PARKING CALCULATION

	TAG	TENANT	OCCUPANCY	GROSS FLOOR AREA	PARKING REQUIREMENT	PARKING REQUIRED
	A	VACANT RETAIL	M	4,230.60 S.F.	1 PER 300 S.F.	16.10
	B	VACANT RETAIL	M	1,522.80 S.F.	1 PER 300 S.F.	5.08
*	C	SANDRO'S ITALIAN	A2	-	1 PER 80 S.F.	30
	D	PROPOSED CYCLEBAR	A3	5,464 S.F. 60 PATRONS 3 EMPLOYEES	1 PER 4 PATRONS 1 PER EMPLOYEE	15 3
**	E	ONE RIVER ART STUDIO	A3	- 44 PATRONS 5 EMPLOYEES	1 PER 4 PATRONS 1 PER EMPLOYEE	11 5
	F	HUNTINGTON LEARNING CENTER	B	2,154.46	1 PER 300 S.F.	4.18
		PARKING CREDIT FOR RETAIL	N/A	1,000	1 PER 300 S.F.	(-3.33)
		REQUIRED PARKING	N/A	N/A	N/A	41.03 = 42 SPACES
***		TOTAL PARKING SPACES TO BE PROVIDED	N/A	N/A	N/A	57 SPACES (INC. 3 H.C.)
		DEFICIENT	N/A	N/A	N/A	35 SPACES

PARKING NOTES

1. TENANT & PARKING DATA OBTAINED FROM THE SEPARATE
"ONE RIVER" ART STUDIO TENANT BUILDING PERMIT
#19-113295 & "THE FRENCH WORKSHOP" BAKERY TENANT
BUILDING PERMIT #CBP21-000277

2. PER THE "ONE RIVER" SITE PLAN, THE SIZE OF THE
PARKING SPACES ARE AS FOLLOWS:

STANDARD STALL: 10'-0" x 20'-0"
H.C. PARKING STALL: 10'-0" x 20'-0" W/ 10'-0" x 20'-0"
ACCESS AISLE

- * SANDRO'S ITALLIAN PREVIOUSLY FILED UNDER BZA #20447. PARKING SPACES REQUIRED AS PER EXIST VARIANCE

- * ONE RIVER ART STUDIO FILED UNDER SEPARATE BUILDING PERMIT APPLICATION

*** NOTE:
NEW PROPOSED PARKING LOT
STRIPING, H.C. STALLS & ACCESS
AISLES AND SIGNAGE FILED UNDER
SEPARATE BUILDING PERMIT
#19-113295 FOR "ONE RIVER" ART
STUDIO

LIST OF DRAWINGS

ARCHITECTURAL

- A1.1 SITE PLAN & PARKING CALCULATIONS
- A2.1 UPPER LEVEL EGRESS PLAN
- A2.2 LOWER LEVEL EGRESS PLAN

BUILDING CODE ANALYSIS

ADDRESS
1504 NORTHERN BLVD,
MANHASSET, NY 11030
S: 3
B: 145
L: 205

USE GROUP
'A3' ASSEMBLY

ZONING
BUSINESS 'A'

CONSTRUCTION CLASS
TYPE II B

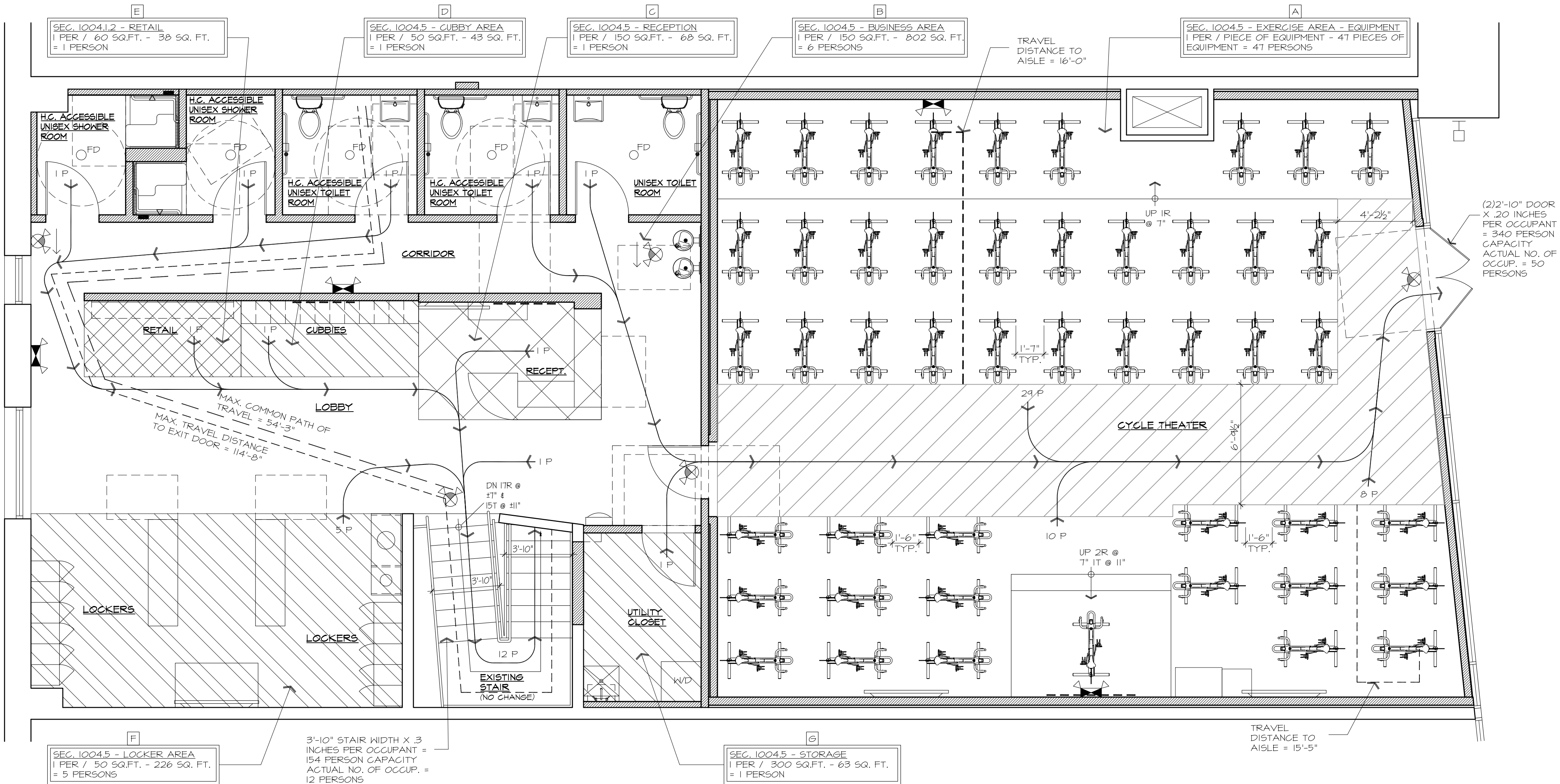
FIRE PROTECTION
NON-SPRINKLERED

CLASSIFICATION OF WORK

ALTERATION LEVEL 2'
WITH CHANGE IN
OCCUPANCY & CHANGE
IN USE.
PREVIOUS TENANT -
ARTISTIC TILE
M' MERCANTILE OCCUPANCY
PROPOSED TENANT -
CYCLEBAR
A3' ASSEMBLY OCCUPANCY

FIRE ALARM
EXISTING - TO BE MODIFIED

BLDG. HEIGHT
1 STORY PLUS BASEMENT



1 UPPER LEVEL EGRESS PLAN
SCALE: 1/4" = 1'-0"

LEGEND

- EXISTING SINGLE-FACED ILLUMINATED EMERGENCY EXIT SIGN & EMERGENCY LIGHTS WITH BATTERY BACK-UP
- NEW SINGLE-FACED ILLUMINATED EMERGENCY EXIT SIGN & EMERGENCY LIGHTS WITH BATTERY BACK-UP PROVIDE ARROWS AS INDICATED
- EXISTING WALL MOUNTED EMERGENCY LIGHTS WITH BATTERY BACK-UP FOR MEANS OF EGRESS ILLUMINATION
- NEW WALL MOUNTED EMERGENCY LIGHTS WITH BATTERY BACK-UP FOR MEANS OF EGRESS ILLUMINATION
- NEW EXTERIOR EMERGENCY EXIT LIGHT WITH BATTERY BACK-UP
- NEW FIRE EXTINGUISHER LARSEN MANUF. CO. MODEL #MP10 (10 LBS. ABC TYPE)-SEE FLOOR PLAN FOR MORE INFO

'A3' ASSEMBLY OCCUPANCY	
UPPER LEVEL OCCUPANT LOAD:	
A- EXERCISE AREA - EQUIPMENT	47
B- BUSINESS AREA	6
C- RECEPTION	1
D- CUBBY AREA	1
E- RETAIL	1
F- LOCKER AREA	5
G- STORAGE	1
TOTAL UPPER LEVEL OCCUPANT LOAD:	62
LOWER LEVEL OCCUPANT LOAD:	
H- BUSINESS AREA	6
I- STORAGE	6
TOTAL LOWER LEVEL OCCUPANT LOAD:	12
TOTAL OCCUPANTS =	74

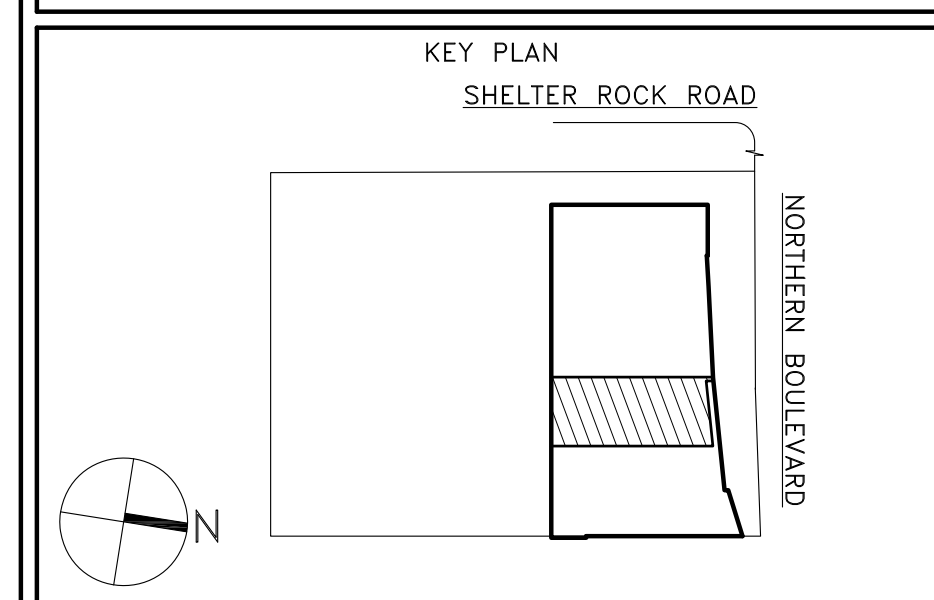
NOTE:
ALL DOORS ARE 3'-0" WIDE X 20 INCHES PER OCCUPANT = 180 PERSON CAPACITY PER DOOR UNLESS OTHERWISE NOTED

PARKING CALCULATION:
*60 PATRONS / 4 = 15 SPACES
3 EMPLOYEES / 1 = 3 SPACES
TOTAL REQUIRED = 18 SPACES

*PATRONS CALCULATED AS 47 FOR EXERCISE AREA (A)
+ 12 FOR BUSINESS AREA (B) & (H) + 1 FOR RETAIL (E) = 60
THE RECEPTION AREA (C), THE CUBBY AREA (D), LOCKER AREA (F) AND STORAGE (G) & (I) ARE IN SIMULTANEOUS USE WITH THE PATRON AND EMPLOYEE OCCUPANTS.

NO.	DATE	REVISION
1	5-9-22	AS PER BUILDING DEPARTMENT COMMENTS
2	10-21-22	GENERAL REVISION
3	11-15-22	GENERAL REVISION
4	11-15-22	REVISION #3
3	10-21-22	REVISION #2
2	5-9-22	REVISION #1
1	3-22-22	ISSUED FOR OWNER'S REVIEW
NO.	DATE	ISSUED

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DOB STAMP

CONSULTANT

ARCHITECT
LUIGI GILENO
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ARCHITECTURE PLANNING INTERIORS
URBAN & REGIONAL DESIGN
PROJECT MANAGEMENT
485 UNDERHILL BLVD., SUITE 304 • STUYVESANT, NY 10711
P. 908.921.4447 • F. 908.921.5557
EMAIL: LGARCH@OPTONLINE.NET

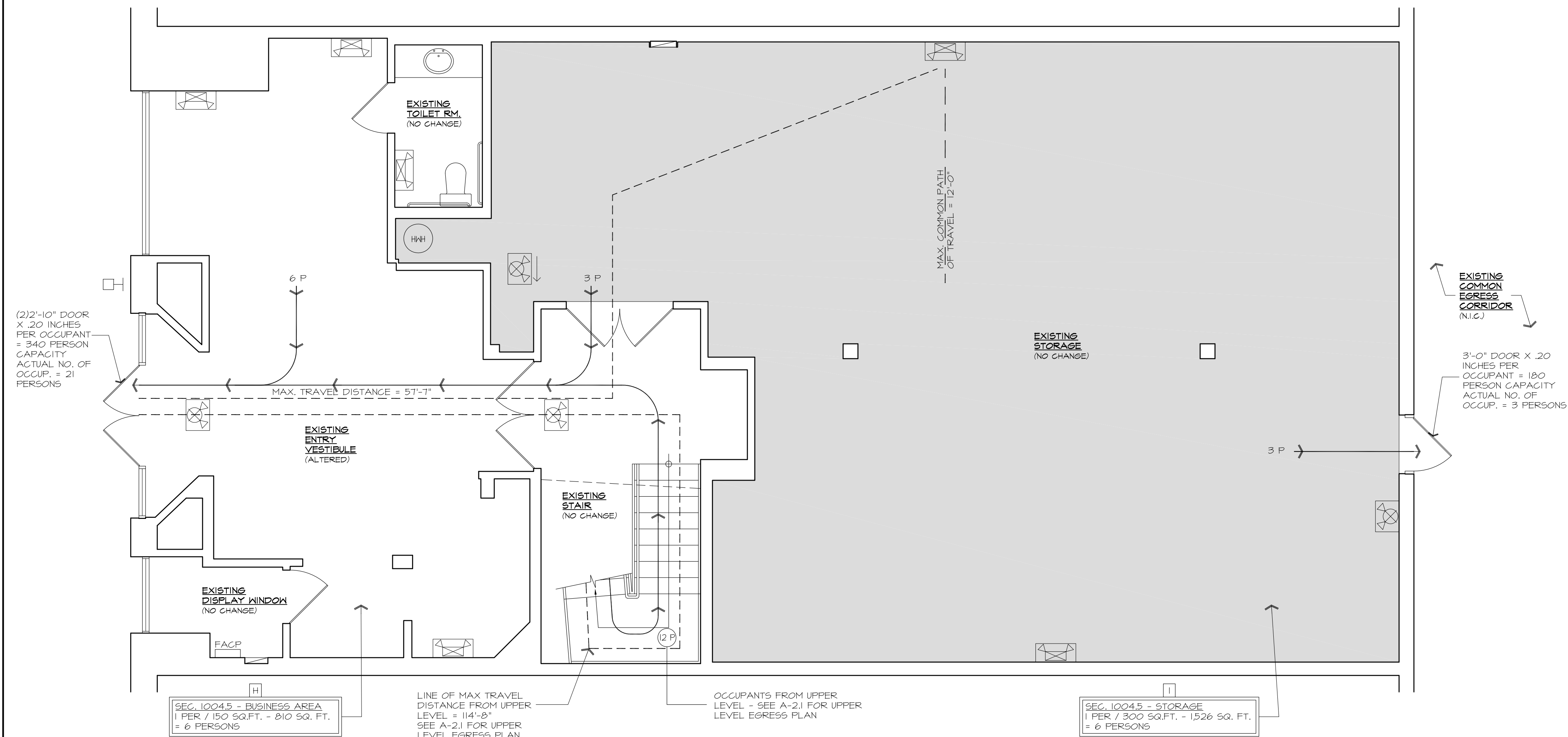
PROJECT
PROPOSED INTERIOR ALTERATIONS
CYCLE BAR
1504 NORTHERN BLVD.
MANHASSET, NY 11030

DRAWING TITLE
UPPER LEVEL
EGRESS PLAN

DATE: MARCH 22, 2022	DWN. BY: LG
JOB NO.: 21130	SCALE: AS SHOWN
SEAL	DWG. No.



A-2.1

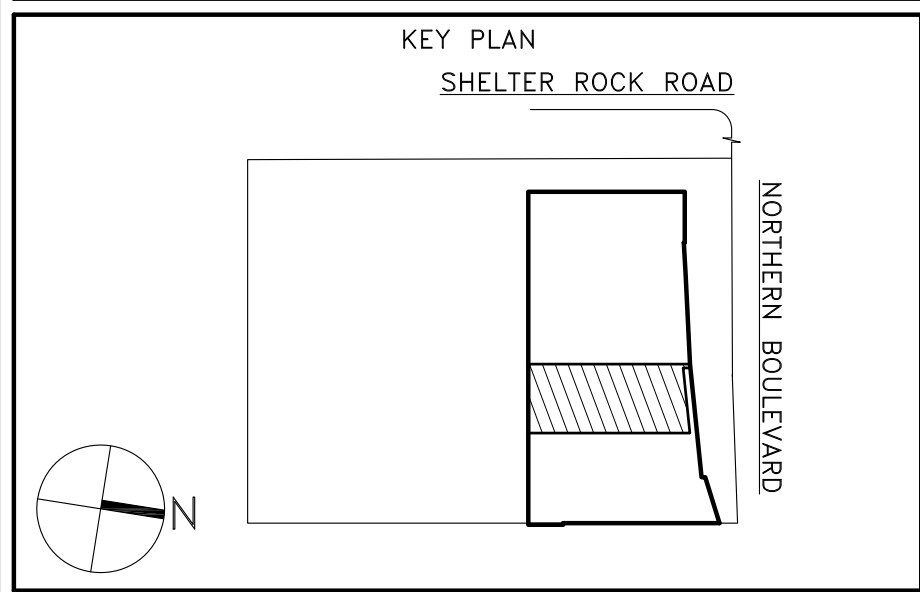


1 LOWER LEVEL EGRESS PLAN
A-2.2 SCALE: 1/4" = 1'-0"

NOTE:
SEE DRAWING A-2.1 FOR EGRESS
CALCULATIONS & LEGEND

NO.	DATE	REVISION
1	5-9-22	AS PER BUILDING DEPARTMENT COMMENTS
2	10-21-22	GENERAL REVISION
3	11-15-22	GENERAL REVISION
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P. 516 921 4447 • F. 516 921 5557
EMAIL: LGARCH@OPTONLINE.NET

PROJECT
PROPOSED INTERIOR ALTERATIONS
CYCLEBAR
1504 NORTHERN BLVD.
MANHASSET, NY 11030

DRAWING TITLE
LOWER LEVEL
EGRESS PLAN

DATE: MARCH 22, 2022	DWN. BY: LG
JOB NO.: 21130	SCALE: AS SHOWN
SEAL 	DWG. No. A-2.2

Chairman
David L. Mammìna, A.I.A.

Vice Chairman
Leslie Francis, Esq.

Members
Daniel Donatelli, Esq.
Jay Hernandez
Patricia A. Goodsell, Esq.

Town of North Hempstead



Board of Zoning Appeals

210 Plandome Road
Manhasset, NY 11030
(516) 869-7667
Fax (516) 869-7812

NOTICE OF DECISION

**APPEAL #21327 – Ai Zhu Jiang; 2 Yale St., Roslyn Heights, Section 7, Block 83, Lot 115;
Zoned Residence-B**

Variances from §§ 70-40.A, 70-41.A, 70-42.3 and 70-100.2.H to construct a portico, and additions located too close to a street, to construct additions and a rear covered porch with balcony located too close to a side property line, to construct additions that violate the sky exposure plane, and to install two A/C condensers too close to a side property line;

Whereas, an application (RBP22-000646, BZA22-000158) was filed with the Board of Zoning Appeals and a public hearing was held following due notice. That at a meeting of the Board held on **April 5, 2023**, the appeal in the above-entitled matter was decided as follows:

DENIED with respect to the variance requested under § 70-40.A, to construct a portico too close to the street, **DENIED** with respect to the variances requested under § 70-41.A to construct a two story addition and a covered porch with balcony in the rear of the home which are too close to a side property line, and **DENIED** with respect to the variance requested under § 70-42.3 to construct a two story addition that violates the sky exposure plane. **GRANTED** with respect to the variance requested under § 70-40.A to construct a one story addition and a second story addition located too close to a street, **GRANTED** with respect to the variance requested under § 70-42.3 to construct a second story addition that violates the sky exposure plane and **GRANTED** with respect to the variance requested under § 70-41.A to construct a one story addition located too close to the side property line of the dimension and in the location as shown on drawings prepared by Todd O'Connell, R.A. dated August 3, 2021 and revised through December 22, 2022. The request for a variance under §70-100.2.H was **WITHDRAWN** by the applicant by letter dated February 24, 2023.

**IN REACHING THIS DETERMINATION, THE BOARD CONSIDERED THE
FACTORS SET FORTH IN THE ATTACHED FINDINGS OF FACT**

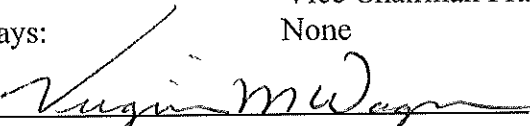
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The vote of the **BOARD OF ZONING APPEALS** was recorded as follows:

Motioned by: Member Goodsell Seconded by: Member Donatelli

Ayes: Member Goodsell, Member Hernandez, Member Donatelli,
Vice Chairman Francis, Chairman Mammina

Nays: None



VIRGINIA M. WAGNER
SECRETARY

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Board of Zoning Appeals

Town of North Hempstead

Findings of Fact for Appeal # 21327

APPEAL #21327 – Ai Zhu Jiang; 2 Yale St., Roslyn Heights, Section 7, Block 83, Lot 115; Zoned Residence-B

Variances from §§ 70-40.A, 70-41.A, 70-42.3 and 70-100.2.H to construct a portico, and additions located too close to a street, to construct additions and a rear covered porch with balcony located too close to a side property line, to construct additions that violate the sky exposure plane, and to install two A/C condensers too close to a side property line;

Under Section 267-b of the Town Law, the Board is empowered to grant area variances in cases where the benefit to the applicant outweighs the detriment to the health, safety and welfare of the neighborhood or community. The Board is also required to grant the *minimum* variance necessary. In making such determination the Board shall also consider: 1) whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance; 2) whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance; 3) whether the requested area variance is substantial; 4) whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and 5) whether the alleged difficulty was self-created. After careful consideration of the facts presented during the hearing, personal observations of the site and surrounding area, and a review of Building Department files, the Board finds the following with respect to these criteria:

§ 70-40.A (one-story addition and second story addition)

1. The Board finds there will be no undesirable change to the character of the neighborhood nor that a detriment to neighboring properties will occur as a result of granting variances under § 70-40.A for the one story addition in the front of the home or for the second story addition in front of the home. The one story (1st floor) addition in front of the home will be setback 19.7' feet from the street where 30' is required. In addition to the fact that this is a one-story addition only, this setback is the same as the minimum front yard setback of the existing home and therefore, the Board finds that granting this variance will not have an adverse effect on the character of the neighborhood or the surrounding properties. The second story addition in front of the home will involve the expansion of a dormer which already exists in this area of the home. Since the front yard setback of the dormer is further back than the minimum front yard setback of the existing home the Board does not find that granting this variance will have an adverse effect on the character of the neighborhood or on the surrounding properties.
2. It would be difficult for the applicant to achieve the benefit of creating a foyer in the front of the home (in the area of the new stairway) if the Board did not grant this variance for the first-floor addition. The Board also finds that it would be difficult for the applicant to

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expand the second floor of the home to create additional living space if the front yard setback variance for the second-floor addition was not granted.

3. Although the requested front-yard setback variance for the first-floor addition could in some cases be considered numerically substantial (34%), in this instance, because the setback is the same as the existing home, and because this is only a one-story addition in an area where a stoop already exists, the Board finds that this fact does not weigh in favor of denial. Similarly, the requested variance for the second-floor addition could in some cases be considered numerically substantial (25%), however, for the reasons stated above, the Board finds that this fact does not weigh in favor of denial.
4. For the reasons stated above the Board does not find that granting the requested variances will have an adverse impact on the physical or environmental conditions of the neighborhood.
5. The Board finds that the alleged difficulties are self-created since the applicant seeks to expand their home in a manner which requires variances, however, this fact alone is not determinative.

70-41.A (one story addition)

1. For the reasons stated in 1-5 above, The Board finds there will be no undesirable change to the character of the neighborhood nor that a detriment to neighboring properties will occur as a result of granting variances under § 70-41.A for the one story addition in the front of the home. The one story (1st floor) addition proposed in front of the home will extend the existing non-conforming side yard setback of 4.5 feet (eastern property line) approximately 6.5' closer to the street. The addition will square off the front of the home by filling in an area which is presently developed with a stoop. Considering that this area is already developed with a stoop, and that the addition will not reduce the already established non-conforming side yard setback, the Board finds that there will be no undesirable change to the character of the neighborhood nor that a detriment to neighboring properties will occur as a result of granting this variance.
2. As stated previously, it would be difficult for the applicant to achieve the benefit of creating a foyer in the front of the home (in the area of the new stairway) if the Board did not grant this variance for the first-floor addition.
3. Although the requested side yard setback variance for the first-floor addition could in some cases be considered numerically substantial (36%), in this instance, because the setback is the same as the existing home, and because this is only a one-story addition in an area where a stoop already exists, the Board finds that this fact does not weigh in favor of denial.

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4. For the reasons stated above the Board does not find that granting the requested variance will have an adverse impact on the physical or environmental conditions of the neighborhood.
5. The Board finds that the alleged difficulties are self-created since the applicant seeks to expand their home in a manner which requires variances, however, this fact alone is not determinative.

70-42.3 (second story addition)

1. The applicant requires a variance for changing the second story of the home because they are proposing to change the orientation of the gabled roof. At the present time the gabled ends of the roof face east and west. The applicants are proposing to change the roof so that the gabled ends will face north and south. Due to the proximity of the existing home to the eastern side yard, a variance will be required because a small portion of the second story and the roof will still pierce the sky exposure plane. This change will actually benefit the neighbor to the east because the new roof will now slope away from their property. For this reason, the Board finds that there will be no undesirable change to the character of the neighborhood nor that a detriment to neighboring properties will occur as a result of granting this variance.
2. It would be difficult for the applicants to add to the living space on the second floor without the necessity of this variance. The Board notes that the existing home already violates the sky exposure plane so any changes to the second floor on this side of the home would most likely require a variance under this section of the code.
3. The proposed changes to the second story will result in an elevation of 20' at the 4.5' setback line. This change will exceed the 13.5' permitted height at the setback line (*permitted ratio of three feet vertical to one foot horizontal*) by 6.5' (48% variance). However, while this percentage deviation by itself might be considered substantial, given the totality of the circumstances as described in paragraphs 1 and 2 above, the Board does not find this variance request to be substantial.
4. Given the above, the Board does not find that granting the requested variance will have an adverse impact on the physical or environmental conditions of the neighborhood.
5. The Board finds that the alleged difficulties are self-created since the applicant seeks to expand their home in a manner which requires variances, however, this fact alone is not determinative.

§ 70-40.A (portico)

1. Contrary to the conclusions reached above regarding the front one-story addition, the Board finds that granting a variance under this section of the code for the addition of the

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portico, which would have a front yard setback of 15.7' feet where 25' is required (30' – 5' permitted encroachment), would have an adverse impact on the character of the neighborhood and would be a detriment to the neighboring property to the east. The construction of the portico would result in further decreasing the already pre-existing nonconforming setback of the dwelling along Yale Street. Specifically, the proposed portico would have a setback of 15.7' from Yale Street where the average front yard setback of the homes along Yale Street is 23.5' (neighboring setbacks of 25', 19.6', 25.9', 30.2', 30.4', 29.9', 30', 30'). This would create a significant deviation between the setback of the subject home and other homes in the neighborhood, and among other things, would create a negative visual impact on the neighborhood because the subject home would not be in line with the other homes on either side. Moreover, the other homes in the neighborhood do not appear to have porticos which extend into the required front yards. In addition, granting this variance would set an undesirable precedent for granting similar variances in the future which could, over time, erode the effectiveness of the required front yard setback and further impact the character of the neighborhood. The Board also considered the testimony of the neighbor to the east who raised concerns about the portico extending past the existing building line in this location so close to her home.¹

2. The applicants could create a portico in the area where the one-story 1st floor addition is proposed. Although a portico in this location might still require a variance, the portico would be setback further and have less of an impact on the neighboring property.
3. The Board finds the requested variance to be substantial. Given the negative impact to the neighborhood as described in paragraph 1 above, in conjunction with the granting of other additional requested variances (including a variance from this same Town Code Section 70-40.A for the first and second floor additions), the Board finds that in this instance, the substantiality of the variance (37%) weighs in favor of denial.
4. The Board finds that granting the requested variance would have an adverse impact on the physical condition of the neighboring property. The Board finds it reasonable to conclude that the extension of the portico towards the street in such close proximity to the neighboring property could result in the minimization of light and air.
5. The Board finds that the alleged difficulties are self-created since the applicant seeks to expand their home in a manner which requires variances, however, this fact alone is not determinative.

§ 70-41.A (two-story addition and a covered rear porch with balcony)

1. The Board finds that granting a variance under this section of the code for the proposed two-story rear addition and covered rear porch with balcony above, which would have a side yard setback of 5' feet where 7' is required, would be a detriment to the neighboring

¹ See hearing transcript pages 105-107,

property to the east. To construct a two-story addition with a covered porch and a second story balcony which do not comply with the minimum side yard requirements of the code would intrude unnecessarily upon the privacy of the adjacent property. In addition, the construction of the addition in this area will loom over the neighboring property by extending the bulk of the home too close to the side property line.

2. The Board finds there are feasible alternatives for the applicant to pursue that would not require a variance from § 70-41. This determination is made, in part, based on the fact that there is ample room on both the west side and north side of the home to add to the dwelling without the necessity of a variance. For example, the applicants could shift the addition over by 2 feet or reduce the width of the addition by 2 feet on the eastern side, in order to comply with the 7' side yard requirement of the Code. In fact, the architect stated at the hearing that the applicant would be willing to revise the plans to comply with the side yard setbacks for the rear addition,² however, in subsequent correspondence to the Board they stated that other than relocating the A/C units (a separate variance) they did not wish to make any further changes to the plans.
3. Given the factors described in paragraphs 1 and 2 above, the Board finds the substantiality of the variance (28%) in this instance to weigh in favor of denial.
4. The Board finds that given the length of the proposed extension (21.5 feet), granting the requested variance for a reduced side yard setback would have an adverse impact on the physical condition of the neighboring property by minimizing the availability of light and air on this side of the home and its backyard.
5. The Board finds that the alleged difficulties are self-created since the applicant seeks to expand their home in a manner which requires variances, however, this fact alone is not determinative.

70-42.3 (two-story rear addition and covered porch with balcony above)

1. The position of the sky exposure plane is a function of the height of the home as it relates to the side yard setback and together these requirements work to ensure the availability of adequate light and air between properties. Because the side yard setback is reduced in the area where the rear addition is proposed, the second story of the addition and the balcony pierce the sky exposure plane. Granting a variance to allow the home to pierce the sky exposure plane on this side of the home would be a detriment to the neighboring property to the east because it would reduce the availability of light and air to the rear of this property. Therefore, the Board finds that granting a variance under this section of the code for the proposed two-story rear addition and covered rear porch with balcony above, would be a detriment to the neighboring property to the east.

² See Hearing Transcript page 112.

2. The Board finds there is a feasible alternative for the applicant to pursue that would not require a variance from § 70-42.3. As stated with regards to the requested variance under 70-41.A, the applicants could shift or reduce the addition by 2 feet in order to comply with the 7' side yard requirement of the code. If the addition were moved, a variance for sky exposure plane would not be necessary.
3. Given the factors described in paragraphs 1 and 2 above, the Board finds the substantiality of the variance in this instance to weigh in favor of denial.
4. The Board finds that granting the requested variance would have an adverse impact on the physical condition of the neighboring property by minimizing the availability of light and air on this side of the home.
5. The Board finds that the alleged difficulties are self-created since the applicant seeks to expand their home in a manner which requires variances, however, this fact alone is not determinative.

Therefore, based on the above, the variances sought under: 1) § 70-40.A, to construct a portico too close to the street; 2) § 70-41.A to construct a two story addition and a covered rear porch with balcony which are too close to a side property line; and 3) § 70-42.3 to construct a two story addition with balcony that violates the sky exposure plane, are DENIED because the benefit to the applicant is outweighed by the detriment to the community.

The Board further determines that the variances sought under: 1) § 70-40.A to construct a one story addition and a second story addition located too close to a street; 2) § 70-42.3 to construct a second floor addition that violates the sky exposure plane; and 3) § 70-41.A to construct a one story addition located too close to the side property line, are supported by the record herein and are therefore GRANTED as requested.

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Chairman
David L. Mammìna, A.I.A.

Vice Chairman
Leslie Francis, Esq.

Members
Daniel Donatelli, Esq.
Jay Hernandez
Patricia A. Goodsell, Esq.

Town of North Hempstead



Board of Zoning Appeals

210 Plandome Road
Manhasset, NY 11030
(516) 869-7667
Fax (516) 869-7812

NOTICE OF DECISION

APPEAL #21346 – Nivine & Magdy Elsharouny; 81 Hamilton Dr., Roslyn, Section 9, Block 630, Lot 1; Zoned Residence-A

Variances from § 70-29.B & 70-29.C to maintain the construction of a new dwelling that is too big (exceeds maximum permitted percentage of the lot and maximum permitted total floor area)

Whereas, an application (ARB22-000190, BZA22-000170) was filed with the Board of Zoning Appeals and a public hearing was held following due notice. That at a meeting of the Board held on **April 5, 2023**, the appeal in the above-entitled matter was decided as follows:

GRANTED of the dimension and in the location as shown on drawings prepared by Hany H. dated November 5, 2012 and on a survey prepared by Vincent M. Teutonico dated March 31, 2022.

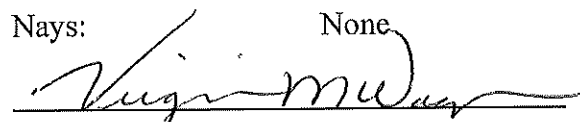
IN REACHING THIS DETERMINATION, THE BOARD CONSIDERED THE FACTORS SET FORTH IN THE ATTACHED FINDINGS OF FACT

The vote of the **BOARD OF ZONING APPEALS** was recorded as follows:

Motioned by: Member Goodsell Seconded by: Member Donatelli

Ayes: Member Goodsell, Member Hernandez, Member Donatelli,
Vice Chairman Francis, Chairman Mammìna

Nays: None


VIRGINIA M. WAGNER
SECRETARY

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Board of Zoning Appeals

Town of North Hempstead

Findings of Fact for Appeal # 21346

APPEAL #21346 – Nivine & Magdy Elsharouny; 81 Hamilton Dr., Roslyn, Section 9, Block 630, Lot 1; Zoned Residence-A

Variances from § 70-29.B & 70-29.C to maintain the construction of a new dwelling that is too big (exceeds maximum permitted percentage of the lot and maximum permitted total floor area)

Under Section 267-b of the Town Law, the Board is empowered to grant area variances in cases where the benefit to the applicant outweighs the detriment to the health, safety and welfare of the neighborhood or community. The Board is also required to grant the *minimum* variance necessary. In making such determination the Board shall also consider: 1) whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance; 2) whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance; 3) whether the requested area variance is substantial; 4) whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and 5) whether the alleged difficulty was self-created. After careful consideration of the facts presented during the hearing, personal observations of the site and surrounding area, and a review of Building Department files, the Board finds the following with respect to these criteria:

1. The Board finds there will be no undesirable change to the character of the neighborhood, nor that a detriment to neighboring properties will occur as a result of granting the requested variances. The additional gross floor area (“GFA”) creating the GFA overage resulted primarily from a change in the exterior finish of both the house and detached garage. Specifically, during construction of the home and garage, due to economic constraints, the applicant deviated from the originally approved plans (4-sided brick house and garage) by reducing the use of brick facing to the front side of both structures (remaining sides finished in stucco veneer). This is significant because at the time the plans were approved, the Town Code required GFA measurements to be taken from the “outside surfaces of structural walls”. Since brick facing was not considered a part of the outside structural wall, a 4-inch brick deduction was given by the Town’s building department when calculating GFA. Therefore, in this instance the change from brick to stucco on three sides of the garage resulted in an overage of 8 square feet, increasing the square footage of the garage to 308 s.f. Per Town Code 70-231 detached garages *up to* 300 s.f. are not included at all toward GFA. Therefore, the change from brick to stucco caused the entire 308 s.f. of the garage to be included in the GFA calculations. The remaining 242 s.f. of GFA overage results primarily from the same changes which occurred to the exterior of the house (brick to stucco veneer). Importantly, the change in construction did not alter the footprint of the approved house and garage.

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Applicant's real estate expert, John Breslin from Breslin Appraisal Company, testified at the hearing that the home, as built, does not adversely impact the property values of surrounding neighbors or the community. The Board concurs with Mr. Breslin's finding that the home's overage is not discernable when viewing the house from the street. In fact, the subject house is in keeping with the surrounding neighborhood which is characterized by larger homes. The 20 consent letters from surrounding neighbors supports the findings of this Board that the house is not a detriment to nearby properties.

2. The Board finds that the benefit to the applicant cannot be achieved by any other method than the requested variances short of demolishing a portion of the garage and house. Although the Board is not necessarily obligated to weigh the expense of compliance where the need for the variance is self-created, given the determination as set forth in paragraph 1 above, the Board finds that the significant expenses associated with demolition where such demolition would not result in any measurable improvement in the character of the neighborhood or result in less of an impact to the neighbors, weighs in favor of the applicant.
3. The applicant requests variances to exceed permitted floor area by 550 square feet (or a 14.6% variance). While a 14.6 % variance could be considered substantial, in this instance the Board considered the fact that the floor area overage did not change the footprint of the house or garage, and is not detectable from the street. Therefore, in this instance, given the totality of the circumstances, including the lack of adverse impact to the neighborhood, the Board finds that the percentage deviation weighs against substantiality.
4. For the reasons stated above, the Board finds that granting the requested variances would not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.
5. The difficulty is self-created since the applicant constructed the house and garage which exceeds the permitted floor area. However, the Board does not find this fact to be determinative.

After weighing the benefit to the applicant in maintaining the construction of a dwelling that exceeds maximum permitted percentage of the lot and maximum permitted total floor area against the detriment to the health, safety and welfare of the neighborhood and community, the Board finds that the benefit to the applicant outweighs any detriment to the community. Therefore, the variances sought under §70-29.B & 70-29.C are GRANTED.

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Chairman
David L. Mammina, A.I.A.

Vice Chairman
Leslie Francis, Esq.

Members
Daniel Donatelli, Esq.
Jay Hernandez
Patricia A. Goodsell, Esq.

Town of North Hempstead



Board of Zoning Appeals

210 Plandome Road
Manhasset, NY 11030
(516) 869-7667
Fax (516) 869-7812

NOTICE OF DECISION

APPEAL #21359 – Scott Trimarchi; 10 New St., Port Washington, Section 5, Block 46, Lot 54; Zoned Residence-A

Variance from § 70-100.2(A)(4) to construct a fence that is too tall.

Whereas, an application (RFP23-000010, BZA23-000015) was filed with the Board of Zoning Appeals and a public hearing was held following due notice. That at a meeting of the Board held on **April 5, 2023**, the appeal in the above-entitled matter was decided as follows:

GRANTED of the dimension and in the location as shown on a survey prepared by Barry M. Fahrner, L.S. dated May 31, 2013 and revised through May 4, 2022 as annotated by the applicant.

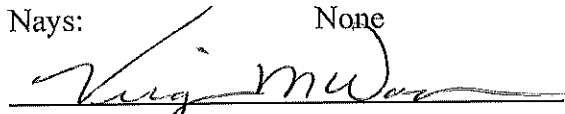
IN REACHING THIS DETERMINATION, THE BOARD CONSIDERED THE FACTORS SET FORTH IN THE ATTACHED FINDINGS OF FACT

The vote of the **BOARD OF ZONING APPEALS** was recorded as follows:

Motioned by: Member Donatelli Seconded by: Member Goodsell

Ayes: Member Goodsell, Member Hernandez, Member Donatelli,
Vice Chairman Francis, Chairman Mammina

Nays: None


VIRGINIA M. WAGNER
SECRETARY

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Board of Zoning Appeals

Town of North Hempstead

Findings of Fact for Appeal # 21359

APPEAL #21359 – Scott Trimarchi; 10 New St., Port Washington, Section 5, Block 46, Lot 54; Zoned Residence-A

Variance from § 70-100.2(A)(4) to construct a fence that is too tall.

The Board finds there will be no undesirable change to the character of the neighborhood nor that a detriment to neighboring properties will occur as a result of granting the requested variance. In making this determination the Board considered several factors, including 1) the proposed six-foot fence will be located along a portion of the side yard which abuts the rear yard of the adjacent property to the east, where that neighbor would be permitted to erect a fence at the same height and in the same location in compliance with the code; 2) the additional one foot in fence height (5' to 6') will not be discernable to the adjacent neighbor due to the steep grade change between the subject property (which sits a much higher elevation) and the adjacent neighbor's rear yard, and the leveling off of the neighbor's property for approximately 15' as it approaches the subject property; 3) the proposed 6' fence will be located toward the back of the subject property at the end of a long driveway and does not extend further than the mid-point of the detached garage with low visibility to the street; 4) the subject house is the last house on a dead-end street; and 5) the only neighbor impacted by the fence has signed a consent form.

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Chairman
David L. Mammina, A.I.A.

Vice Chairman
Leslie Francis, Esq.

Members
Daniel Donatelli, Esq.
Jay Hernandez
Patricia A. Goodsell, Esq

Town of North Hempstead



Board of Zoning Appeals

210 Plandome Road
Manhasset, NY 11030
(516) 869-7667
Fax (516) 869-7812

NOTICE OF DECISION

APPEAL #21364 – Armond Saidai; 36 S. Bayles Avenue, Port Washington, Section 5, Block 98, Lot 24; Zoned Business-A/Industrial B (per R-C requirements)

Variance from § 70-100.1B to legalize a detached garage that is too close to the side property line.

Whereas, an application (RBP23-000035, BZA23-000026) was filed with the Board of Zoning Appeals and a public hearing was held following due notice. That at a meeting of the Board held on **April 5, 2023**, the appeal in the above-entitled matter was decided as follows:

GRANTED of the dimension and in the location as shown on drawings prepared by Donald Eliot Sclare, R.A. dated January 23, 2023 and revised through January 26, 2023.

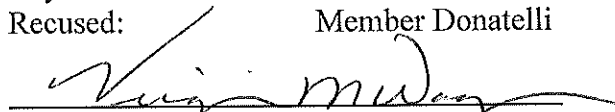
The vote of the **BOARD OF ZONING APPEALS** was recorded as follows:

Motioned by: Member Goodsell Seconded by: Member Hernandez

Ayes: Member Goodsell, Member Hernandez,
Vice Chairman Francis, Chairman Mammina

Nays: None

Recused: Member Donatelli


VIRGINIA M. WAGNER
SECRETARY

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Chairman
David L. Mammina, A.I.A.

Vice Chairman
Leslie Francis, Esq.

Members
Daniel Donatelli, Esq.
Jay Hernandez
Patricia A. Goodsell, Esq

Town of North Hempstead



Board of Zoning Appeals

210 Plandome Road
Manhasset, NY 11030
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NOTICE OF DECISION

APPEAL #21365 - Burberry Americas/Burberry LTD (sign); 2110 A Northern Boulevard, Manhasset, Section 3, Block 183, Lot 12; Zoned: Business-A
Variance from §70-196.J(1) to erect a wall sign that is not facing a public street or parking area.

Whereas, an application (SGP23-000008, BZA23-000025) was filed with the Board of Zoning Appeals and a public hearing was held following due notice. That at a meeting of the Board held on **April 5, 2023**, the appeal in the above-entitled matter was decided as follows:

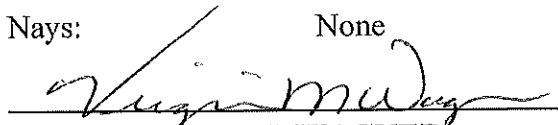
GRANTED of the dimension and in the location as shown on drawings prepared by Tee Pee Signs dated January 12, 2023.

The vote of the **BOARD OF ZONING APPEALS** was recorded as follows:

Motioned by: Member Hernandez Seconded by: Vice Chairman Francis

Ayes: Member Goodsell, Member Hernandez, Member Donatelli,
Vice Chairman Francis, Chairman Mammina

Nays: None


VIRGINIA M. WAGNER
SECRETARY

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Chairman
David L. Mammìna, A.I.A.

Vice Chairman
Leslie Francis, Esq.

Members
Daniel Donatelli, Esq.
Jay Hernandez
Patricia A. Goodsell, Esq.

Town of North Hempstead



Board of Zoning Appeals

210 Plandome Road
Manhasset, NY 11030
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NOTICE OF DECISION

APPEAL #21369 – CAW75, LLC (Cyclebar) (SAB 1488-1506 Northern Associates, LLC); 1500 Northern Boulevard, Manhasset; Section 3, Block 145, Lot 205; Zoned: Business-A
Variance from §70-103.A(1) to convert a retail space to a gym facility with not enough parking.

Whereas, an application (CBP22-000131, BZA22-000136) was filed with the Board of Zoning Appeals and a public hearing was held following due notice. That at a meeting of the Board held on **April 5, 2023**, the appeal in the above-entitled matter was decided as follows:

GRANTED of the dimension and in the location as shown on drawings prepared by Luigi Gileno, R.A. dated march 22, 2022 and revised through November 15, 2022 **SUBJECT TO THE FOLLOWING CONDITION:**

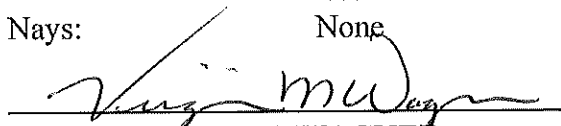
Applicant shall place a sign at the easterly side of the parking area notifying customers and clients of the businesses at the subject premises that they must use the parking spaces designated for the subject property and that parking on the adjacent properties is prohibited.

The vote of the **BOARD OF ZONING APPEALS** was recorded as follows:

Motioned by: Member Hernandez Seconded by: Member Donatelli

Ayes: Member Goodsell, Member Hernandez, Member Donatelli,
Vice Chairman Francis, Chairman Mammìna

Nays: None


VIRGINIA M. WAGNER
SECRETARY

THIS IS NOT A BUILDING PERMIT

Chairman
David L. Mammina, A.I.A.

Vice Chairman
Leslie Francis, Esq.

Members
Daniel Donatelli, Esq.
Jay Hernandez
Patricia A. Goodsell, Esq.

Town of North Hempstead



Board of Zoning Appeals

210 Plandome Road
Manhasset, NY 11030
(516) 869-7667
Fax (516) 869-7812

NOTICE OF DECISION

APPEAL #21367 – Shelter Rock Islamic Center; 2 Shelter Rock Road, Searingtown, Section 9, Block 652, Lot 18; Zoned Residence-A
Variances from §70-100.2.A(2) to construct fencing between a building and the street.

Whereas, an application (CFP22-000010, BZA23-000022) was filed with the Board of Zoning Appeals and a public hearing was held following due notice. That at a meeting of the Board held on **April 5, 2023**, the appeal in the above-entitled matter was decided as follows:

GRANTED of the dimension and in the location as shown on drawings prepared by Muzaffar Jamal, P.E.. dated March 5, 2022 and revised through November 14, 2022
SUBJECT TO THE FOLLOWING CONDITION:

The fence must be compliant with Section § 70-215 of the Town Code

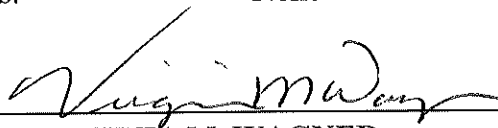
IN REACHING THIS DETERMINATION, THE BOARD CONSIDERED THE FACTORS SET FORTH IN THE ATTACHED FINDINGS OF FACT

The vote of the **BOARD OF ZONING APPEALS** was recorded as follows:

Motioned by: Member Donatelli Seconded by: Member Hernandez

Ayes: Member Goodsell, Member Hernandez, Member Donatelli,
Vice Chairman Francis, Chairman Mammina

Nays: None


VIRGINIA M. WAGNER
SECRETARY

THIS IS NOT A BUILDING PERMIT

Board of Zoning Appeals

Town of North Hempstead

Findings of Fact for Appeal # 21142

APPEAL #21142 – Shelter Rock Islamic Center; 2 Shelter Rock Road, Searingtown, Section 9, Block 652, Lot 18; Zoned Residence-A

Variances from §70-100.2.A(2) to construct fencing between a building and the street.

Under Section 267-b of the Town Law, the Board is empowered to grant area variances in cases where the benefit to the applicant outweighs the detriment to the health, safety and welfare of the neighborhood or community. The Board is also required to grant the *minimum* variance necessary. In making such determination the Board shall also consider: 1) whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance; 2) whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance; 3) whether the requested area variance is substantial; 4) whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and 5) whether the alleged difficulty was self-created. After careful consideration of the facts presented during the hearing, personal observations of the site and surrounding area, a review of Building Department files, and a review of the Town Code as it pertains to development of this property, the Board finds the following with respect to these criteria:

1. In making this determination the Board has taken into consideration the provisions of the Religious Land Use Protection Act which affords municipalities greater latitude in making land use decisions involving religious institutions. The Board has considered the benefit to the applicant of strengthening security measures in the wake of targeted attacks at religious institutions across the country, as well as any potential detriment to the health, safety and welfare of the community. In weighing these considerations, the Board finds that the requested variance will not produce an undesirable change to the character of the neighborhood or cause a detriment to nearby properties; and that the variance will not have an impact on the physical or environmental conditions of the neighborhood or district. Although the variance could be considered substantial and self-created the Board finds that the requested variance is necessary in order to provide safety to the members of the Islamic Center.

THIS IS NOT A BUILDING PERMIT